



**COMMITTEE OF ADJUSTMENT NOTICE OF PUBLIC HEARING  
APPLICATION NO. A-075-2023**

**TAKE NOTICE** that an application has been received by the Town of Innisfil from **Anahid Shahmoradi, Owner**, for a minor variance from Zoning By-law 080-13, pursuant to Section 45 of the *Planning Act*, R.S.O. 1990, c. P.13, as amended.

The subject property is described legally as **PLAN 988 LOT 10** is known municipally as **2785 Ireton Street**, and is zoned as **“Residential 1 (R1)”**.

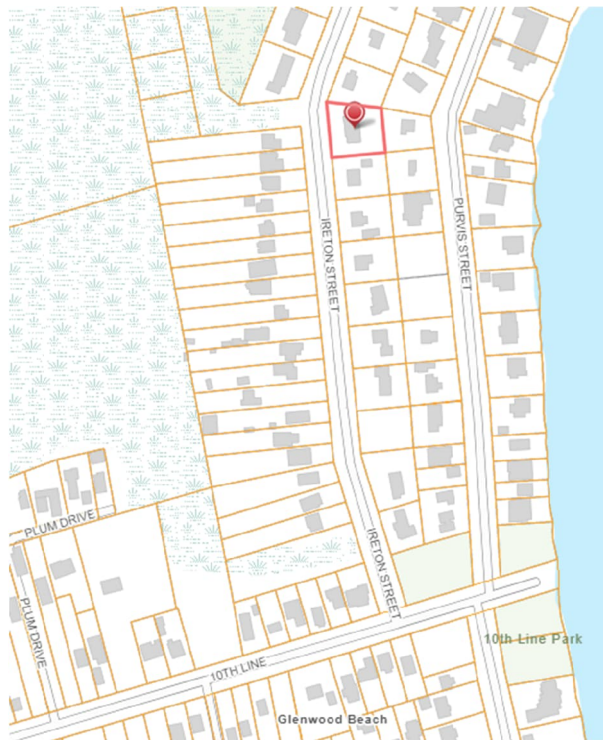
**The applicant is proposing to legalize an existing accessory dwelling unit with a gross floor area (GFA) over 50% of the main unit GFA. The applicant is seeking relief from Section 3.5 (b) of the Zoning By-law which states that accessory dwelling units shall not be greater than 50% of the gross floor area of the principal dwelling.**

The Committee of Adjustment for the Town of Innisfil will consider this application in person at Town Hall and virtually through Zoom on **Thursday, December 14, at 6:30 PM.**

To participate in the hearing and/or provide comments, you must register by following the link below or scanning the above QR code: <https://innisfil.ca/en/building-and-development/committee-of-adjustment-hearings.aspx>

Requests can also be submitted in writing to: Town of Innisfil Committee of Adjustment, 2101 Innisfil Beach Road, Innisfil, Ontario, L9S 1A1 or by email to [planning@innisfil.ca](mailto:planning@innisfil.ca).

If you wish to receive a copy of the decision of the Committee of Adjustment in respect of the proposed minor variance, you must make a written request to the Secretary-Treasurer of the Committee of Adjustment by way of email or regular mail. The Notice of Decision will also explain the process for appealing a decision to the Ontario Lands Tribunal.



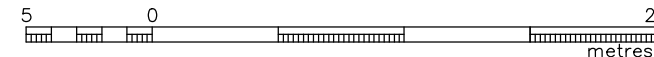
Additional information relating to the proposed application is available on the Town of Innisfil website. Accessible formats are available on request, to support participation in all aspects of the feedback process. To request an alternate format please contact Planning Services at [planning@innisfil.ca](mailto:planning@innisfil.ca).

Dated: **November 29, 2023**

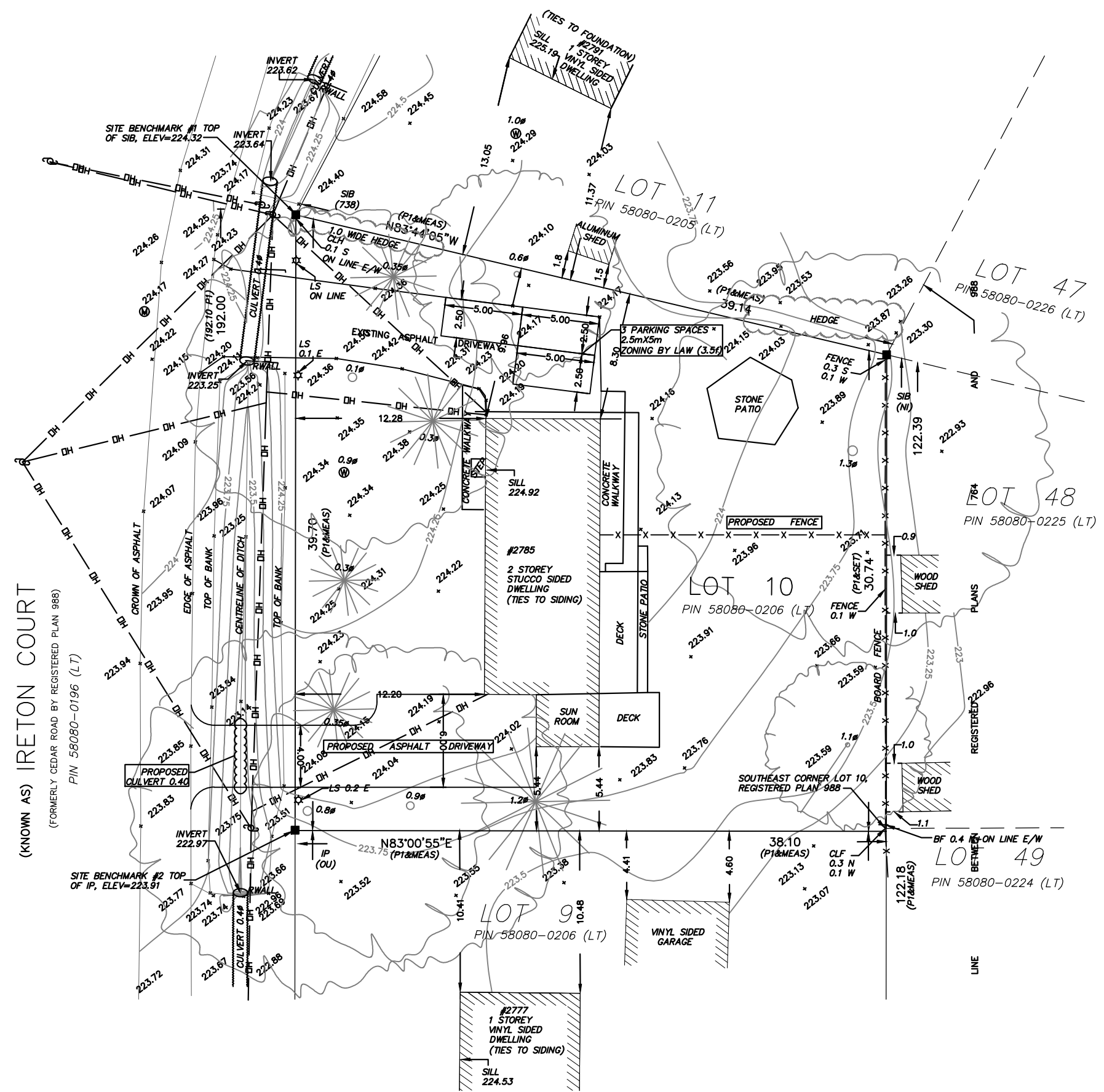
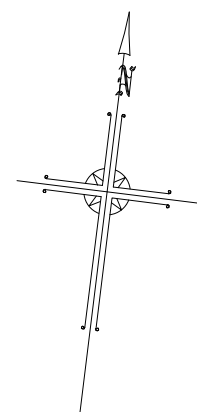
Toomaj Haghshenas,  
Secretary-Treasurer  
[thagshenas@innisfil.ca](mailto:thagshenas@innisfil.ca)  
705-436-3710 ext. 3316

GEOGRAPHIC TOWNSHIP OF INNISFIL  
 TOWN OF INNISFIL  
 COUNTY OF SIMCOE

SCALE 1 : 300



SITE PLAN DRAWING BASED ON SURVEY FROM:  
 RUDY MAK SURVEYING LTD.  
 732 DUNLOP STREET WEST  
 BARRIE, ONTARIO L4N 9X1 (705) 722-3845  
 E-MAIL MAIL@MAKSURVEYING.COM



(KNOWN AS) IRETON COURT  
 (FORMERLY CEDAR ROAD BY REGISTERED PLAN 988)  
 PIN 58080-0196 (LT)

PREPARED BY:  
**mArbo Int.**  
 1524 Lorne Wood Rd.  
 Mississauga, ON.  
 L5H 3G3  
 TEL- (905) 891-6606

Qualification Information  
 Marian Bojankiewicz 28830  
 Name BCIN/BCDN  
 Registration Information  
 Marbo International 35767  
 Name BCIN/BCDN

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.  
 This drawing is protected by copyright. Contractor must check all dimensions on site. Only figured dimensions are to be used. Discrepancies must be reported immediately to the designer before proceeding.

No.	REVISION	DATE

PROJECT TITLE:  
 SECOND SUITE AT  
 2785 IRETON ST  
 INNISFIL  
 ON L9S 2J2

DRAWING TITLE:  
 SITE PLAN

SCALE:  
 1:300  
 DATE:  
 MAY 1,  
 2023

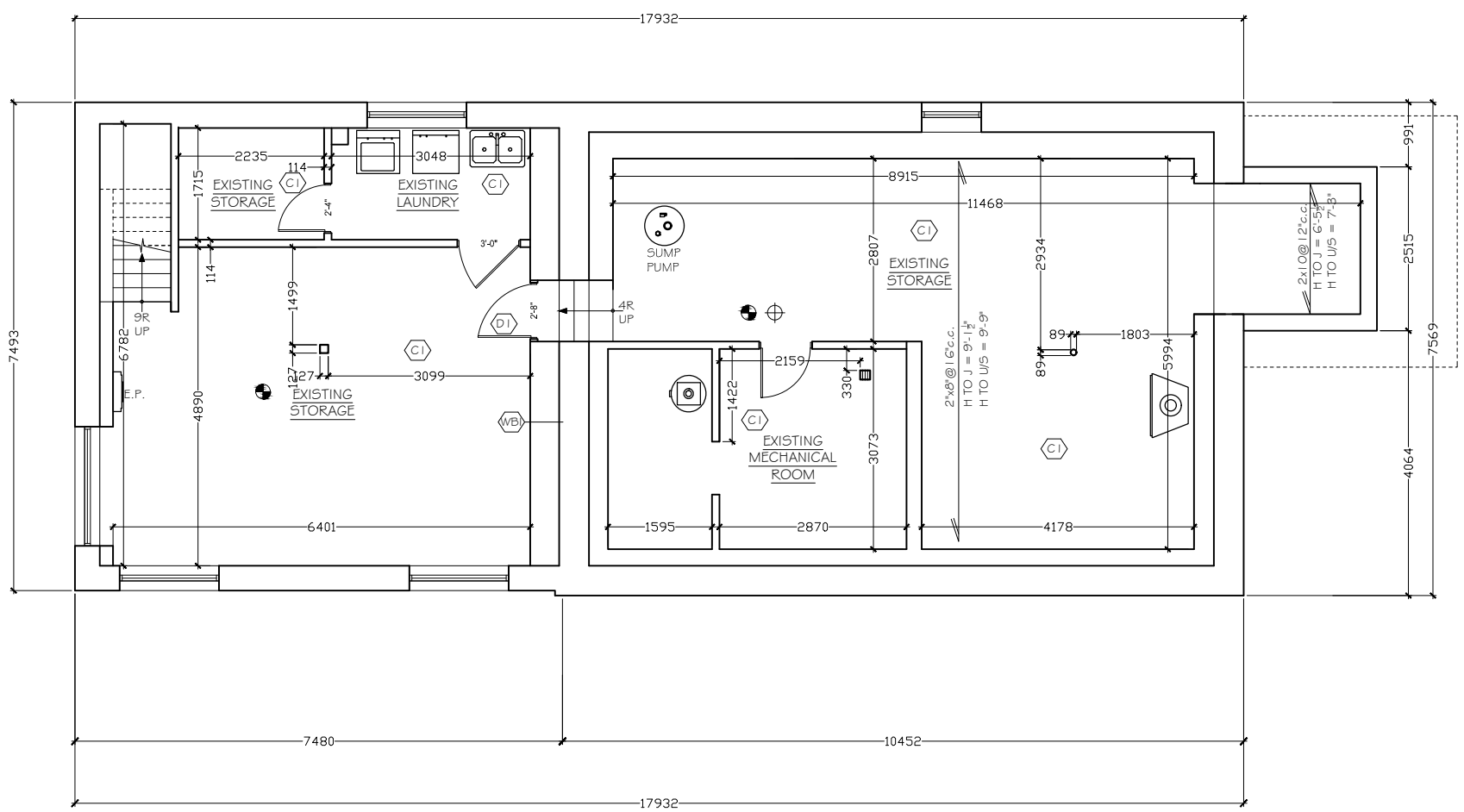
DRAWN BY:  
 A.B.  
 DRAWING NO:  
 A-1

**NOTES:**  
NO CHANGE TO THE EXISTING RADIATOR AND BOILER HEATING SYSTEM

EXISTING BASEMENT AREA 1510 SF / 140.28m<sup>2</sup>

**LEGEND**

- (C1) CEILING AND FLOOR ASSEMBLY  
1/2" TYPE X GYPSUM WALL BOARD  
MINERAL WOOL BATT INSULATION ABOVE (OPTIONAL)  
EXISTING WOOD FLOOR JOISTS@16" c.c.  
EXISTING 5/8" T&G SUBFLOOR  
EXISTING WOOD FLOOR OR CERAMIC TILE FLOOR FINISH  
35 MIN. FIRE RESISTANCE RATING  
SB-2 TABLE 2.3.4.B&F  
(30 MIN. F.R.R. REQUIRED)
- (WB) EXISTING MIN. 6" CONCRETE BLOCK WALL  
1 HR F.R.R. (30 MIN. REQUIRED)
- (D1) EXISTING SOLID CORE WOOD DOOR AND FRAME  
20 MIN. F.R.R.  
CW DOOR CLOSURE
- (D2) NEW SOLID CORE WOOD DOOR AND FRAME  
20 MIN. F.R.R.  
CW DOOR CLOSURE
- ☉ SMOKE ALARM
- ⊕ CARBON MONOXIDE ALARM



**PREPARED BY:**  
**mArbo Int.**  
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Mississauga, ON.  
L5H 3G3  
TEL- (905) 891-6606

**Qualification Information**  
Marian Bojankiewicz 28830  
Name BCIN/BCDN  
*MB*  
**Registration Information**  
Marbo International 35767  
Name BCIN/BCDN

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**PROJECT NORTH:**  
← N →

No.	REVISION	DATE

**PROJECT TITLE:**  
SECOND SUITE AT  
2785 IRETON ST  
INNISFIL  
ON L9S 2J2

**DRAWING TITLE:**  
BASEMENT PLAN

**SCALE:**  
1:100

**DATE:**  
MARCH 31,  
2023

**DRAWN BY:**  
A.B.

**DRAWING NO.:**  
A-2m

**PRINCIPAL UNIT DWELLING AREA**

PRINCIPAL UNIT FIRST FLOOR G.F.A. 782 SF / 72.65m<sup>2</sup>  
 PRINCIPAL UNIT SECOND FLOOR G.F.A. 870 SF / 80.83m<sup>2</sup>  
 TOTAL PRINCIPAL UNIT G.F.A. 1652 SF / 153.48m<sup>2</sup>







**SECOND UNIT DWELLING AREA**

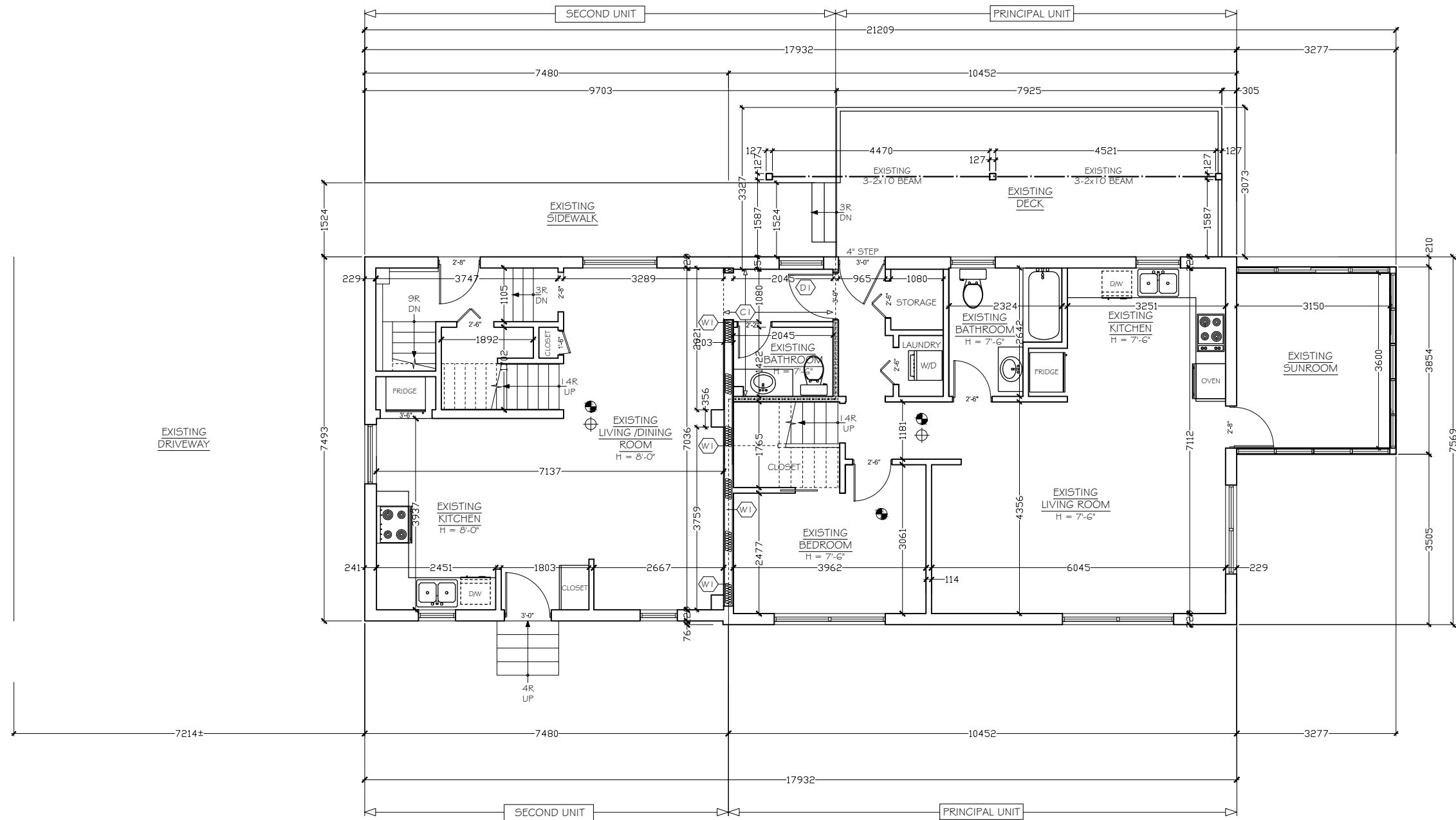
SECOND UNIT FIRST FLOOR G.F.A. 673 SF / 62.52m<sup>2</sup>  
 SECOND UNIT SECOND FLOOR G.F.A. 622 SF / 57.79m<sup>2</sup>  
 TOTAL SECOND UNIT G.F.A. 1295 SF / 120.31m<sup>2</sup>

**SUNROOM**

PRINCIPAL UNIT FIRST FLOOR G.F.A. 782 SF / 72.65m<sup>2</sup>  
 SECOND UNIT FIRST FLOOR G.F.A. 673 SF / 62.52m<sup>2</sup>  
 TOTAL FIRST FLOOR G.F.A. 1455 SF / 135.17m<sup>2</sup>

**LEGEND**

-  EXISTING FIRE SEPARATION WALL  
5/8 TYPE X G.W.B. BOTH SIDES  
2x4 WOOD STUDS @ 16" c.c.  
3 1/2" ABSORPTIVE MATERIAL  
WALL TYPE W1 a-1 HR FIRE RESISTANCE  
(30 MIN. REQUIRED)
-  UPGRADE EXIST. WALL TO  
FIRE SEPARATION WALL  
5/8 TYPE X G.W.B. BOTH SIDES  
2x4 WOOD STUDS @ 16" c.c.  
3 1/2" ABSORPTIVE MATERIAL  
WALL TYPE W1 a-1 HR FIRE RESISTANCE  
(30 MIN. REQUIRED)  
CONTRACTOR TO CHECK IF THE  
EXISTING WALL COMPLY WITH  
TYPE W1 a WITH ASSEMBLY
-  CEILING AND FLOOR ASSEMBLY  
1/2" TYPE X GYPSUM WALL BOARD  
MINERAL WOOL BATT INSULATION ABOVE  
(OPTIONAL)  
EXISTING WOOD FLOOR JOISTS @ 16" c.c.  
EXISTING 5/8" T&G SUBFLOOR  
EXISTING WOOD FLOOR OR  
CERAMIC TILE FLOOR FINISH  
35 MIN. FIRE RESISTANCE RATING  
SB-2 TABLE 2.3.4.B&F  
(30 MIN. F.R.R. REQUIRED)
-  EXISTING SOLID CORE  
WOOD DOOR AND FRAME  
20 MIN. F.R.R.  
C/W DOOR CLOSURE
-  SMOKE ALARM  
INTERCONNECTED IN THE UNIT
-  CARBON MONOXIDE ALARM  
INTERCONNECTED IN THE UNIT



**PREPARED BY:**

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No.	REVISION	DATE

**PROJECT TITLE:**

SECOND SUITE AT  
 2785 IRETON ST  
 INNISFIL  
 ON L9S 2J2

**DRAWING TITLE:**

FIRST FLOOR PLAN

**SCALE:**

1:100

**DRAWN BY:**

A.B.

**DATE:**

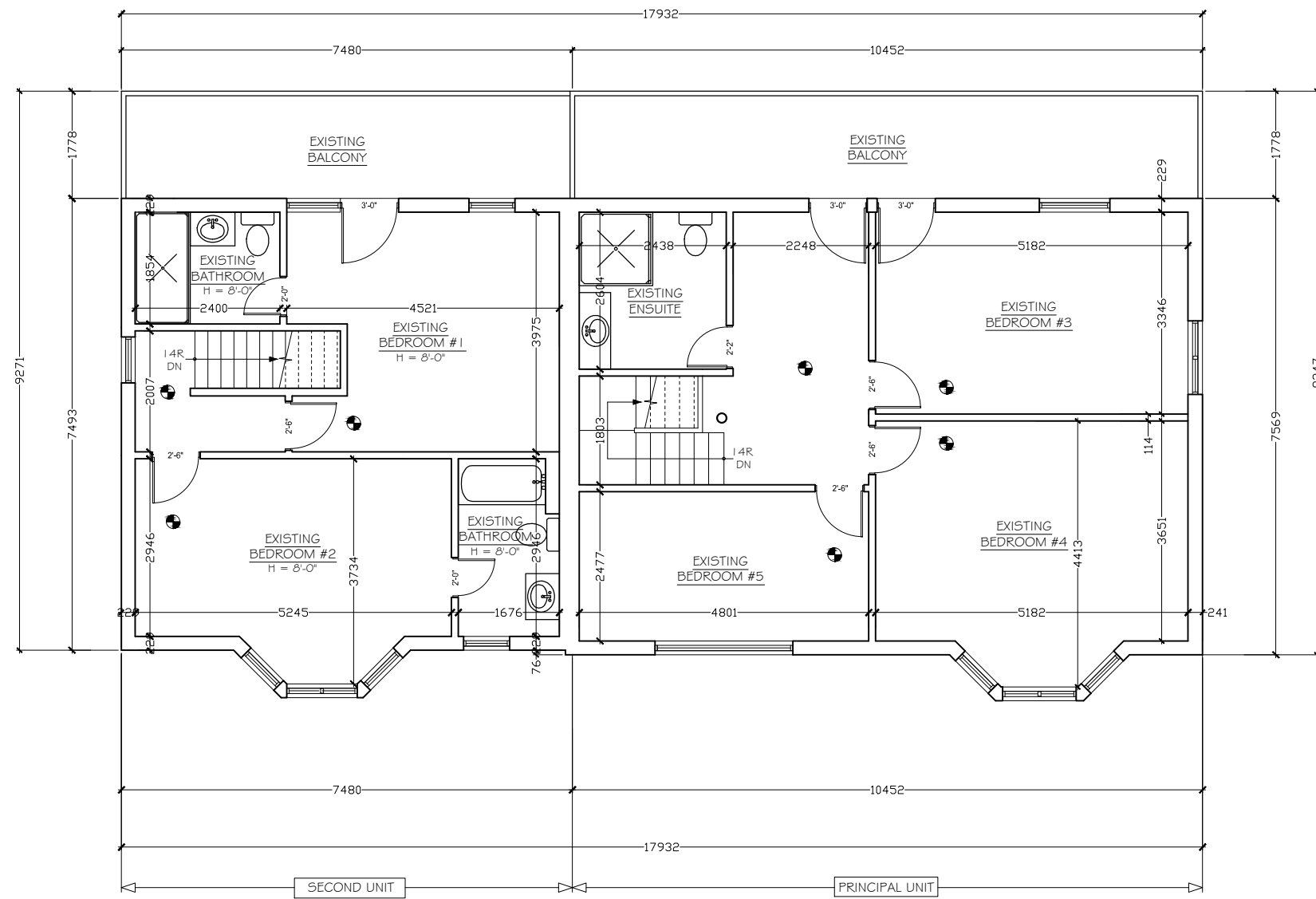
MARCH 31,  
 2023

**DRAWING NO.:**

A-3m

PRINCIPAL UNIT SECOND FLOOR G.F.A.	870 SF / 80.83m <sup>2</sup>
SECOND UNIT SECOND FLOOR G.F.A.	622 SF / 57.79m <sup>2</sup>
TOTAL SECOND FLOOR G.F.A.	1492 SF / 138.62m <sup>2</sup>

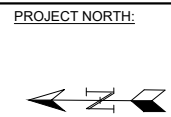
LEGEND	
(W1)	EXISTING FIRE SEPARATION WALL 5/8 TYPE X G.W.B. BOTH SIDES 2x4 WOOD STUDS @ 16" c.c. 3 1/2" ABSORPTIVE MATERIAL WALL TYPE W1a-1 HR FIRE RESISTANCE (30 MIN. REQUIRED)
(W2)	NEW FIRE SEPARATION WALL 5/8 TYPE X G.W.B. BOTH SIDES 2x4 WOOD STUDS @ 16" c.c. 3 1/2" ABSORPTIVE MATERIAL WALL TYPE W1a-1 HR FIRE RESISTANCE (30 MIN. REQUIRED)
(C1)	CEILING AND FLOOR ASSEMBLY 1/2" TYPE X GYPSUM WALL BOARD MINERAL WOOL BATT INSULATION ABOVE (OPTIONAL) EXISTING WOOD FLOOR JOISTS @ 16" c.c. EXISTING 5/8" T&G SUBFLOOR EXISTING WOOD FLOOR OR CERAMIC TILE FLOOR FINISH 35 MIN. FIRE RESISTANCE RATING 5B-2 TABLE 2.3.4.B&F (30 MIN. F.R.R. REQUIRED)
(D1)	EXISTING SOLID CORE WOOD DOOR AND FRAME 20 MIN. F.R.R. C/W DOOR CLOSURE
(D2)	NEW SOLID CORE WOOD DOOR AND FRAME 20 MIN. F.R.R. C/W DOOR CLOSURE
(SA)	SMOKE ALARM
(CA)	CARBON MONOXIDE ALARM



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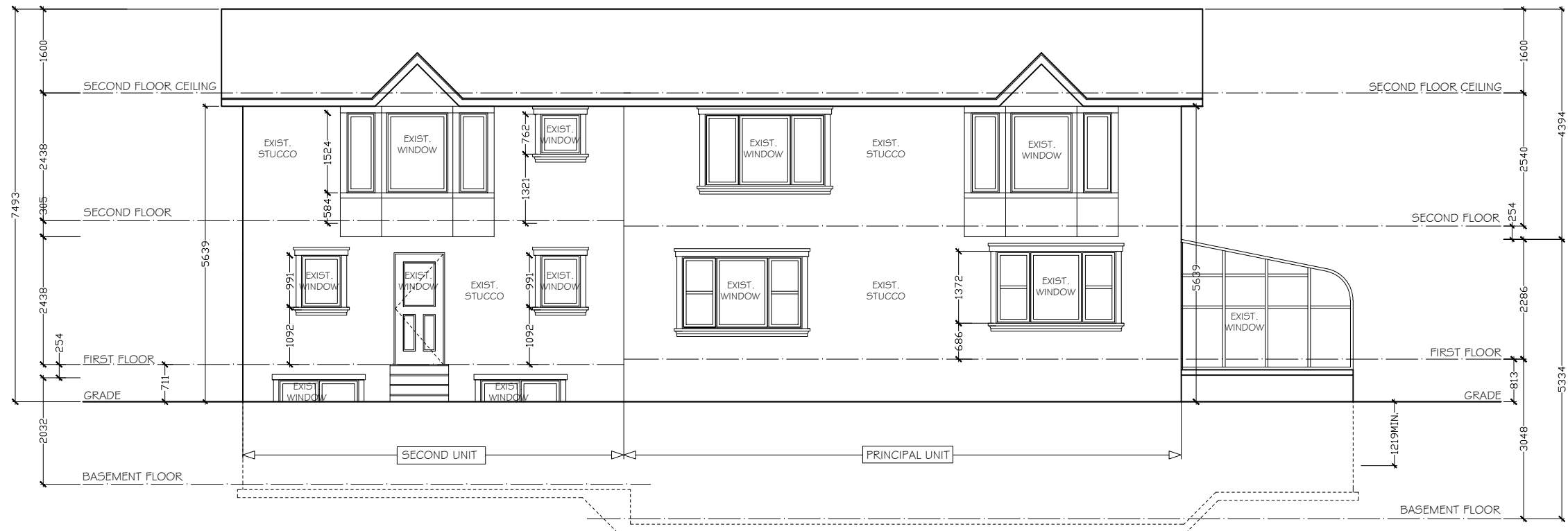
No.	REVISION	DATE

PROJECT TITLE:  
SECOND SUITE AT  
2785 IRETON ST  
INNISFIL  
ON L9S 2J2

DRAWING TITLE:  
SECOND FLOOR PLAN

SCALE:  
1:100  
DRAWN BY:  
A.B.  
DATE:  
MARCH 31,  
2023  
DRAWING NO:  
A-4m

NOTES:  
NO CHANGE TO THE ELEVATIONS FOR REFERENCE ONLY



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PROJECT TITLE:  
SECOND SUITE AT  
2785 IRETON ST  
INNISFIL  
ON L9S 2J2

DRAWING TITLE:  
FRONT ELEVATION

SCALE:  
1:100  
DATE:  
MARCH 31,  
2023

DRAWN BY:  
A.B.  
DRAWING NO:  
A-6m

NOTES:  
NO CHANGE TO THE ELEVATIONS FOR REFERENCE ONLY



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L5H 3G3  
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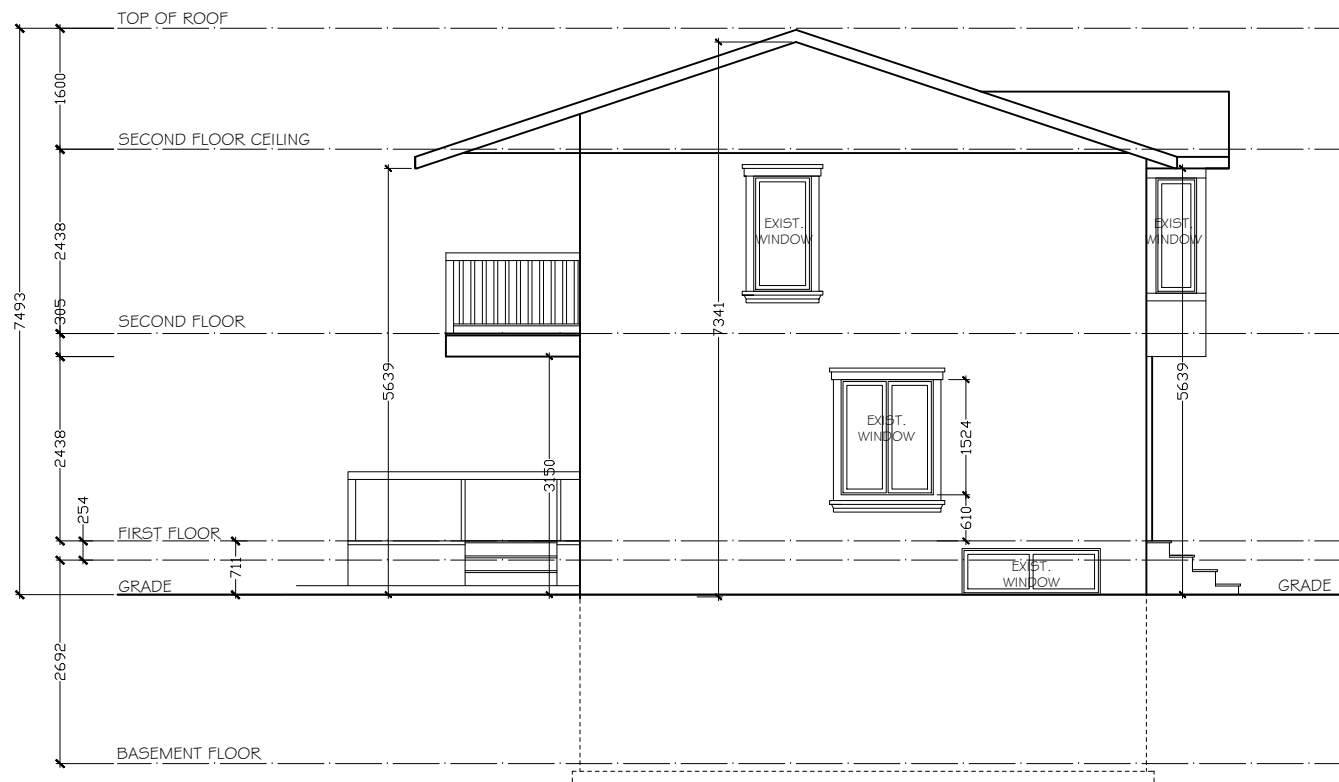
PROJECT TITLE:  
SECOND SUITE AT  
2785 IRETON ST  
INNISFIL  
ON L9S 2J2

DRAWING TITLE:  
REAR ELEVATION

SCALE:  
1:100  
DATE:  
MARCH 31,  
2023

DRAWN BY:  
A.B.  
DRAWING NO:  
A-7m

NOTES:  
NO CHANGE TO THE ELEVATIONS FOR REFERENCE ONLY



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L5H 3G3  
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PROJECT TITLE:  
SECOND SUITE AT  
2785 IRETON ST  
INNISFIL  
ON L9S 2J2

DRAWING TITLE:  
NORTH ELEVATION

SCALE:  
1:100  
DATE:  
MARCH 31,  
2023

DRAWN BY:  
A.B.  
DRAWING NO:  
A-8m



NOTES:  
NO CHANGE TO THE ELEVATIONS FOR REFERENCE ONLY



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No.	REVISION	DATE

PROJECT TITLE:  
SECOND SUITE AT  
2785 IRETON ST  
INNISFIL  
ON L9S 2J2

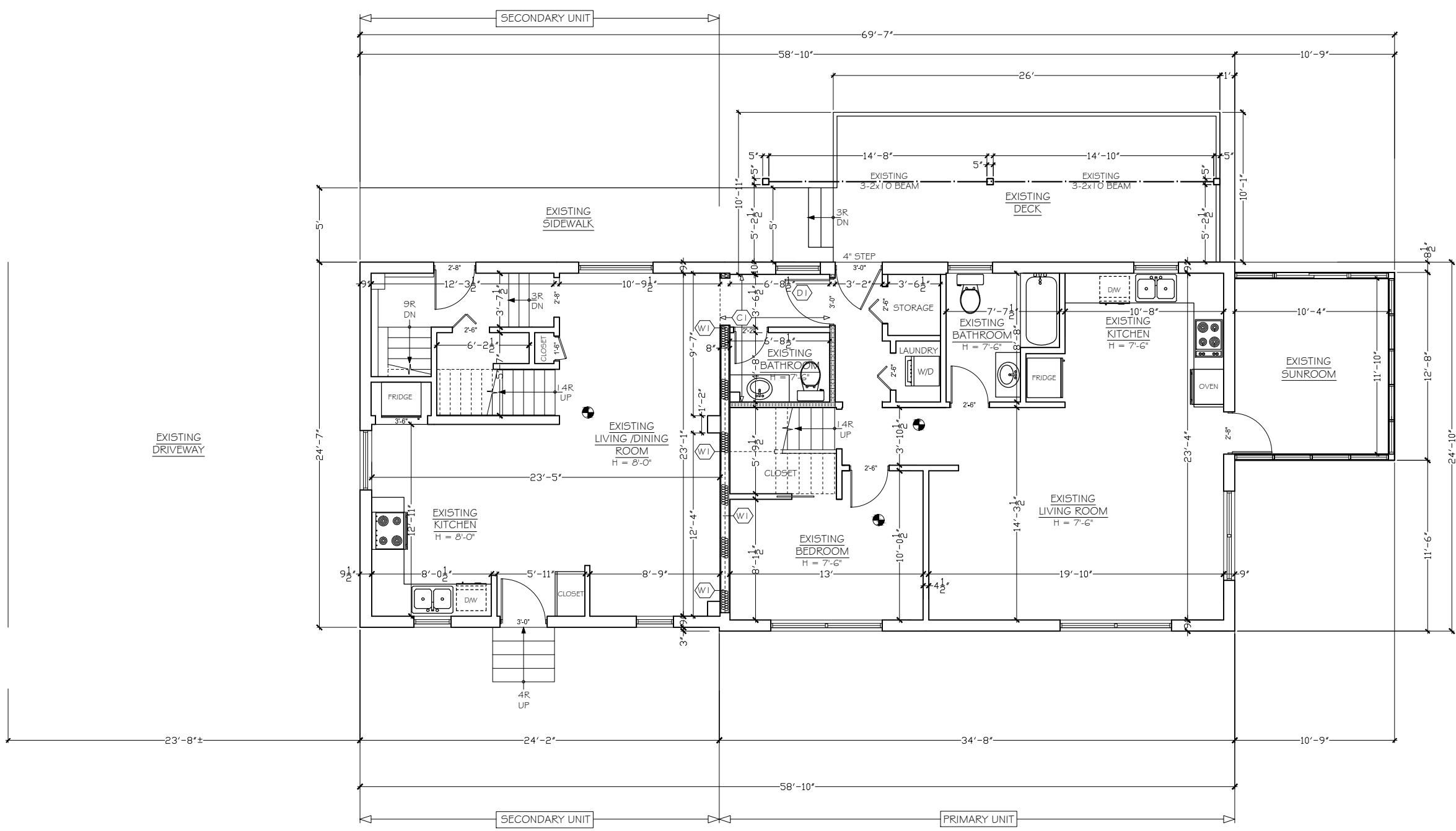
DRAWING TITLE:  
SOUTH ELEVATION

SCALE:  
1:100  
DATE:  
MARCH 31,  
2023

DRAWN BY:  
A.B.  
DRAWING NO:  
A-9m

SUNROOM	136 SF / 12.63m <sup>2</sup>
PRINCIPAL DWELLING FIRST FLOOR G.F.A.	710 SF / 65.96m <sup>2</sup>
SECONDARY DWELLING FIRST FLOOR G.F.A.	600 SF / 55.75m <sup>2</sup>
TOTAL FIRST FLOOR G.F.A.	1310 SF / 121.71m <sup>2</sup>

LEGEND	
	EXISTING FIRE SEPARATION WALL 5/8 TYPE X G.W.B. BOTH SIDES 2x4 WOOD STUDS @ 16" c.c. 3 1/2" ABSORPTIVE MATERIAL WALL TYPE W1a-1 HR FIRE RESISTANCE (30 MIN. REQUIRED)
	UPGRADE EXIST. WALL TO FIRE SEPARATION WALL 5/8 TYPE X G.W.B. BOTH SIDES 2x4 WOOD STUDS @ 16" c.c. 3 1/2" ABSORPTIVE MATERIAL WALL TYPE W1a-1 HR FIRE RESISTANCE (30 MIN. REQUIRED) CONTRACTOR TO CHECK IF THE EXISTING WALL COMPLY WITH TYPE W1a WITH ASSEMBLY
	CEILING AND FLOOR ASSEMBLY 1/2" TYPE X GYPSUM WALL BOARD MINERAL WOOL BATT INSULATION ABOVE (OPTIONAL) EXISTING WOOD FLOOR JOISTS @ 16" c.c. EXISTING 5/8" T&G SUBFLOOR EXISTING WOOD FLOOR OR CERAMIC TILE FLOOR FINISH 35 MIN. FIRE RESISTANCE RATING 5B-2 TABLE 2.3.4.B&F (30 MIN. F.R.R. REQUIRED)
	EXISTING SOLID CORE WOOD DOOR AND FRAME 20 MIN. F.R.R. C/W DOOR CLOSURE
	SMOKE ALARM INTERCONNECTED IN THE UNIT
	CARBON MONOXIDE ALARM INTERCONNECTED IN THE UNIT



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No.	REVISION	DATE

PROJECT NORTH:  
PROJECT TITLE:  
SECOND SUITE AT  
2785 IRETON ST  
INNISFIL  
ON L9S 2J2

DRAWING TITLE:  
FIRST FLOOR PLAN

SCALE:  
1" = 1/8"  
DRAWN BY:  
A.B.  
DATE:  
MARCH 31,  
2023  
DRAWING NO:  
A-3