



**COMMITTEE OF ADJUSTMENT NOTICE OF PUBLIC HEARING
APPLICATION NO. A-002-2024**

TAKE NOTICE that an application has been received by the Town of Innisfil from **Jason Simoes, Owner**, for a minor variance from Zoning By-law 080-13, pursuant to Section 45 of the *Planning Act*, R.S.O. 1990, c. P.13, as amended.

The subject property is described legally as **PLAN 1378 LOT 7** and is known municipally as **1008 Westminister Street** and is zoned as “**Residential 1 (R1)**”.

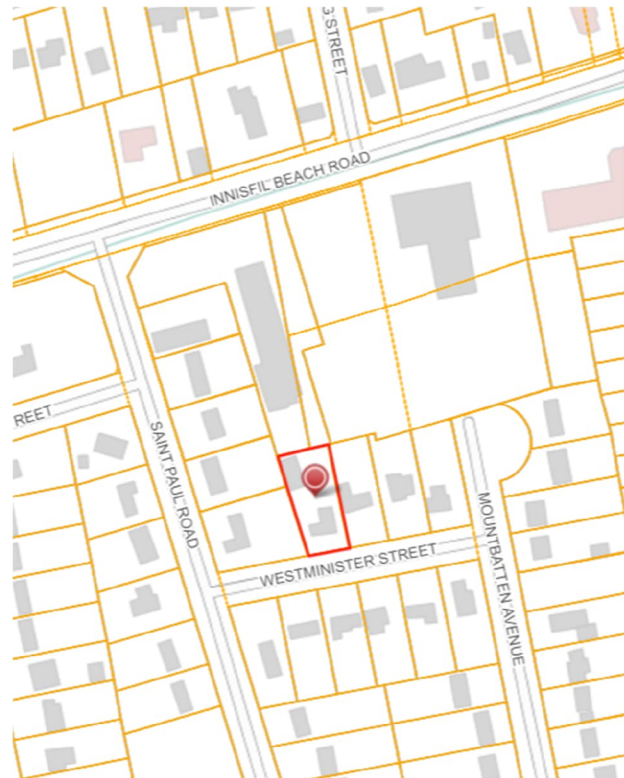
The applicant is proposing to construct an accessory dwelling unit (ADU) with a height of 7.01 m. The applicant is seeking relief from Section 3.5 (g) of the Zoning By-law which permits a maximum height of 6 m for ADUs in residential zones.

The Committee of Adjustment for the Town of Innisfil will consider this application in person at Town Hall and virtually through Zoom on **Thursday, March 14, 2024, at 6:30 PM.**

To participate in the hearing and/or provide comments, you must register by following the link below or scanning the above QR code: <https://innisfil.ca/en/building-and-development/committee-of-adjustment-hearings.aspx>

Requests can also be submitted in writing to: Town of Innisfil Committee of Adjustment, 2101 Innisfil Beach Road, Innisfil, Ontario, L9S 1A1 or by email to planning@innisfil.ca.

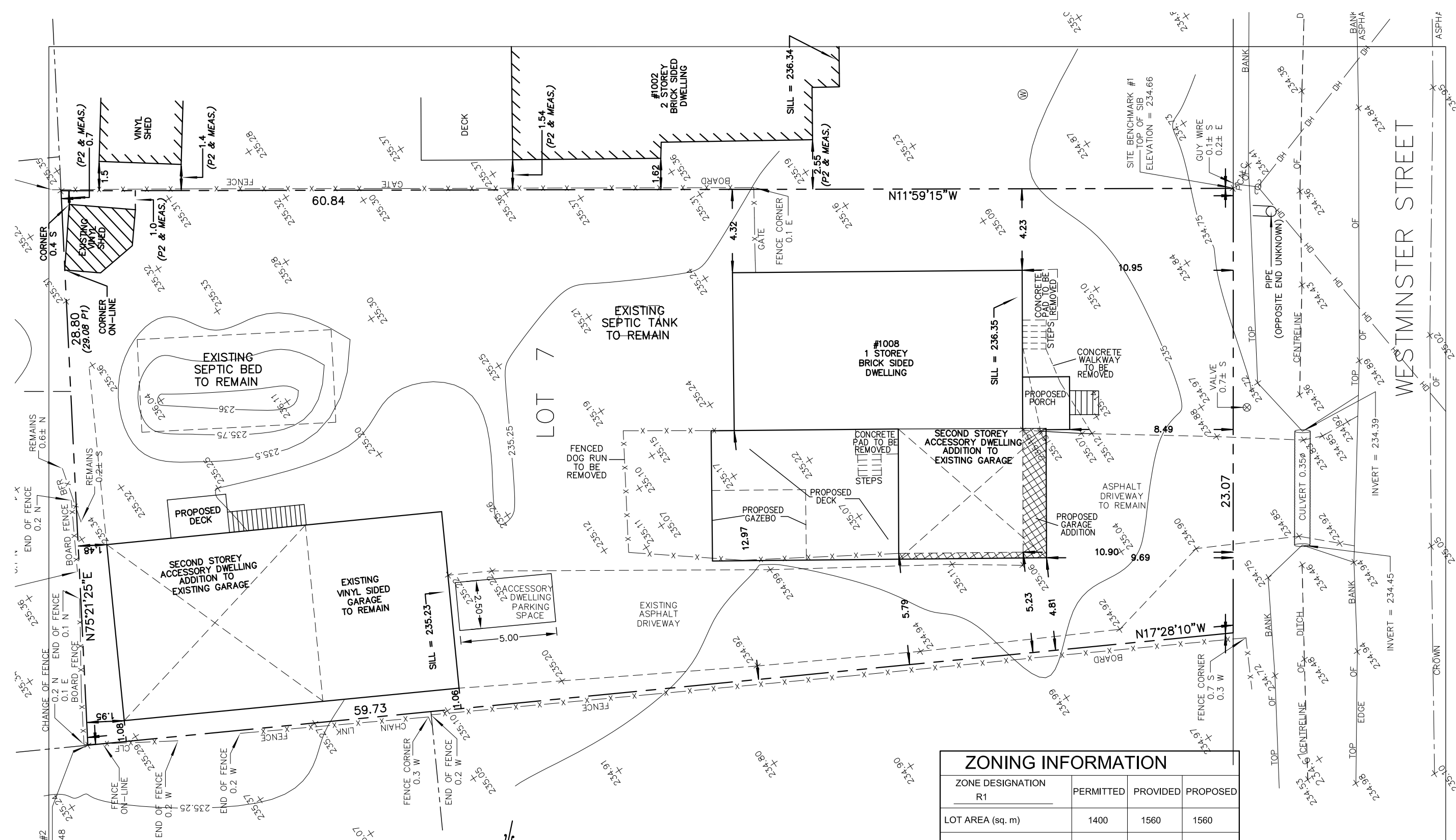
If you wish to receive a copy of the decision of the Committee of Adjustment in respect of the proposed minor variance, you must make a written request to the Secretary-Treasurer of the Committee of Adjustment by way of email or regular mail. The Notice of Decision will also explain the process for appealing a decision to the Ontario Lands Tribunal.



Additional information relating to the proposed application is available on the Town of Innisfil website. Accessible formats are available on request, to support participation in all aspects of the feedback process. To request an alternate format please contact Planning Services at planning@innisfil.ca.

Dated: **March 5, 2024**

Toomaj Haghshenas,
Secretary-Treasurer
thagshenas@innisfil.ca
705-436-3710 ext. 3316



| ZONING INFORMATION | | | |
|--|-----------|----------|----------|
| ZONE DESIGNATION | PERMITTED | PROVIDED | PROPOSED |
| R1 | | | |
| LOT AREA (sq. m) | 1400 | 1560 | 1560 |
| FRONT YARD SETBACK (m) | 8.0 | 10.90 | 8.49 |
| INTERIOR SIDE YARD SETBACK (m) | 1.5 | 5.23 | 4.81 |
| INTERIOR SIDE YARD SETBACK DETACHED ACCESSORY DWELLING (m) | 1.2 | 1.06 | 1.06 |
| REAR YARD SETBACK DETACHED ACCESSORY DWELLING (m) | 1.2 | 1.48 | 1.48 |
| BUILDING AREA with HOUSE PORCH & DETACHED GARAGE (sq.m.) | XXXX | 322.28 | 356.75 |
| LOT COVERAGE (%) | 35% | 20.66% | 22.86% |
| BUILDING HEIGHT (m) | 6.0 | 7.01 | 7.01 |

SURVEY INFORMATION TAKEN FROM RUDY MAK SURVEYING LTD. DRAWING OF JANUARY 29, 2024

SURVEYOR'S REAL PROPERTY REPORT (PART 1) PLAN OF SURVEY OF LOT 7 REGISTERED PLAN 1378 TOWN OF INNISFIL COUNTY OF SIMCOE

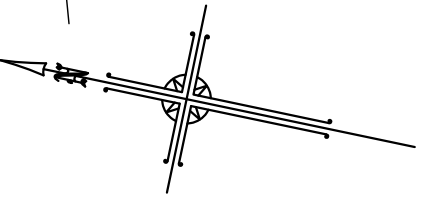
In accordance with Article 3.2.5.1 of the Ontario Building Code (OBC) the undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.5.1 of the OBC

Rob Jeffries 24872
Name Signature BCIN

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.1 of the OBC

R.A. Jeffries & Associates 32821
Firm Name BCIN



THESE DRAWINGS MUST BE CHECKED BY THE CUSTOMER OR CONTRACTOR. ANY ERRORS OR OMISSIONS MUST BE REPORTED IN WRITING TO DESIGNER PRIOR TO COMMENCEMENT OF CONSTRUCTION.
THESE DRAWINGS MUST NOT BE SCALED.

| REV. | DESCRIPTION | DATE |
|------|--------------------------|----------|
| 2 | ISSUED FOR C OF A | 02/14/24 |
| 1 | ISSUED FOR CLIENT REVIEW | 02/06/24 |

GENERAL NOTES

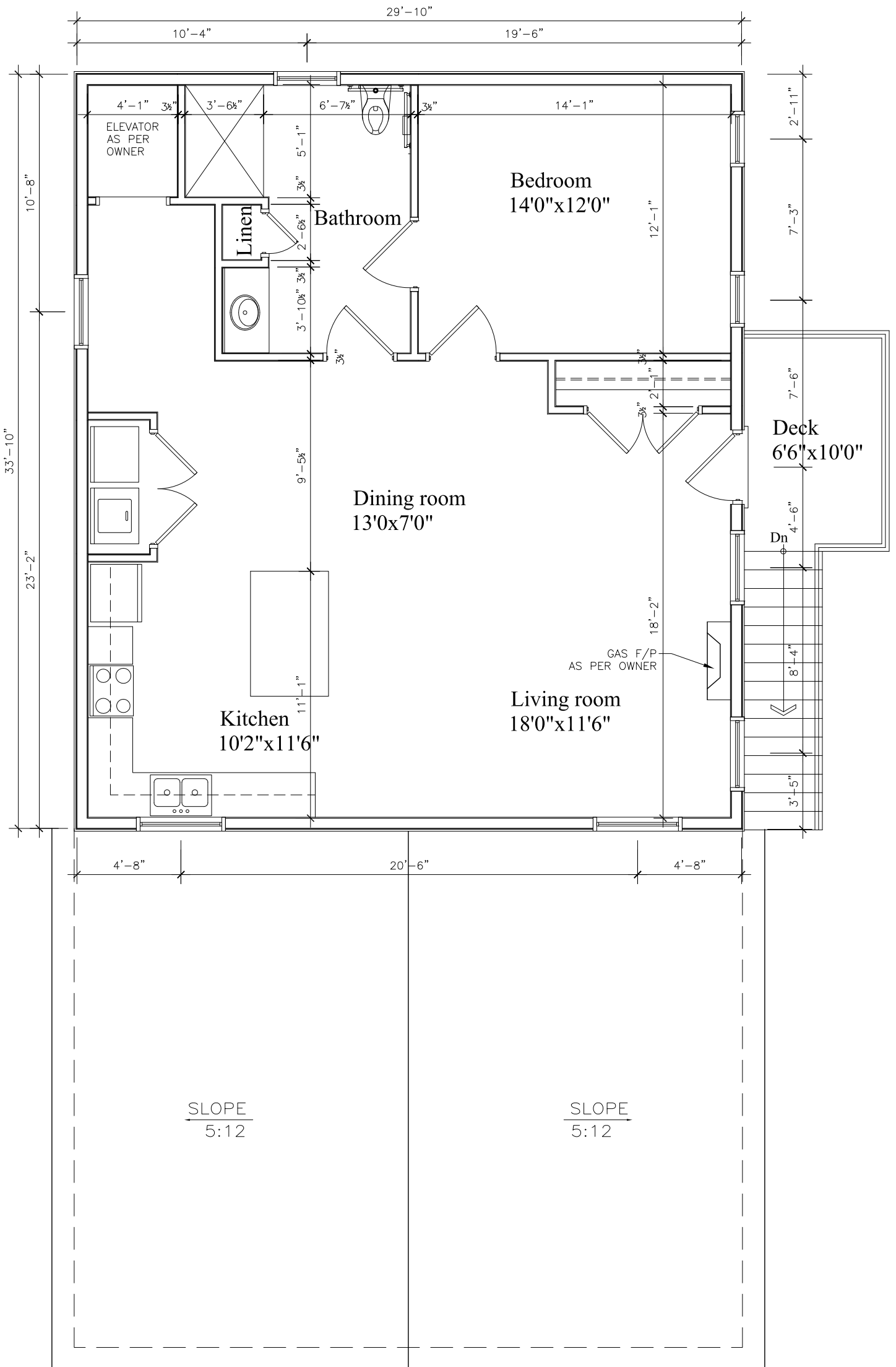
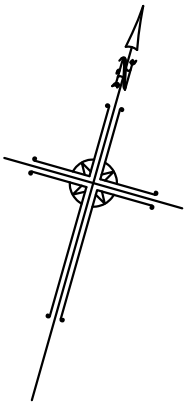
Blank area for general notes.

R.A. JEFFRIES & ASSOCIATES
36 DUNLOP ST. W.
BARRIE, ONTARIO
L4N 1A2
(705) 797-4943
rjeff@sympatico.ca
BCIN No. 24872

PROJECT
SIMOES RESIDENCE GARAGE ADDITION
1008 WESTMINSTER ST.

TITLE
SITE PLAN

| | |
|---------------------|---------------------|
| PROJECT No.: 224002 | DATE: JAN. 24, 2024 |
| DRAWN BY: RJ | PAGE NO. |
| SCALE: 1:200 | SP1 |



GARAGE
SECOND SUITE PLAN

1008 WESTMINSTER ST.
TOWN OF INNISFIL

FEB. 14, 2024
JAN. 24, 2024

R.A. JEFFRIES
& ASSOCIATES
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rjeff@sympatico.ca

DATE:

JAN. 24, 2024

DWG. TITLE

GARAGE
SECOND SUITE PLAN

SCALE:

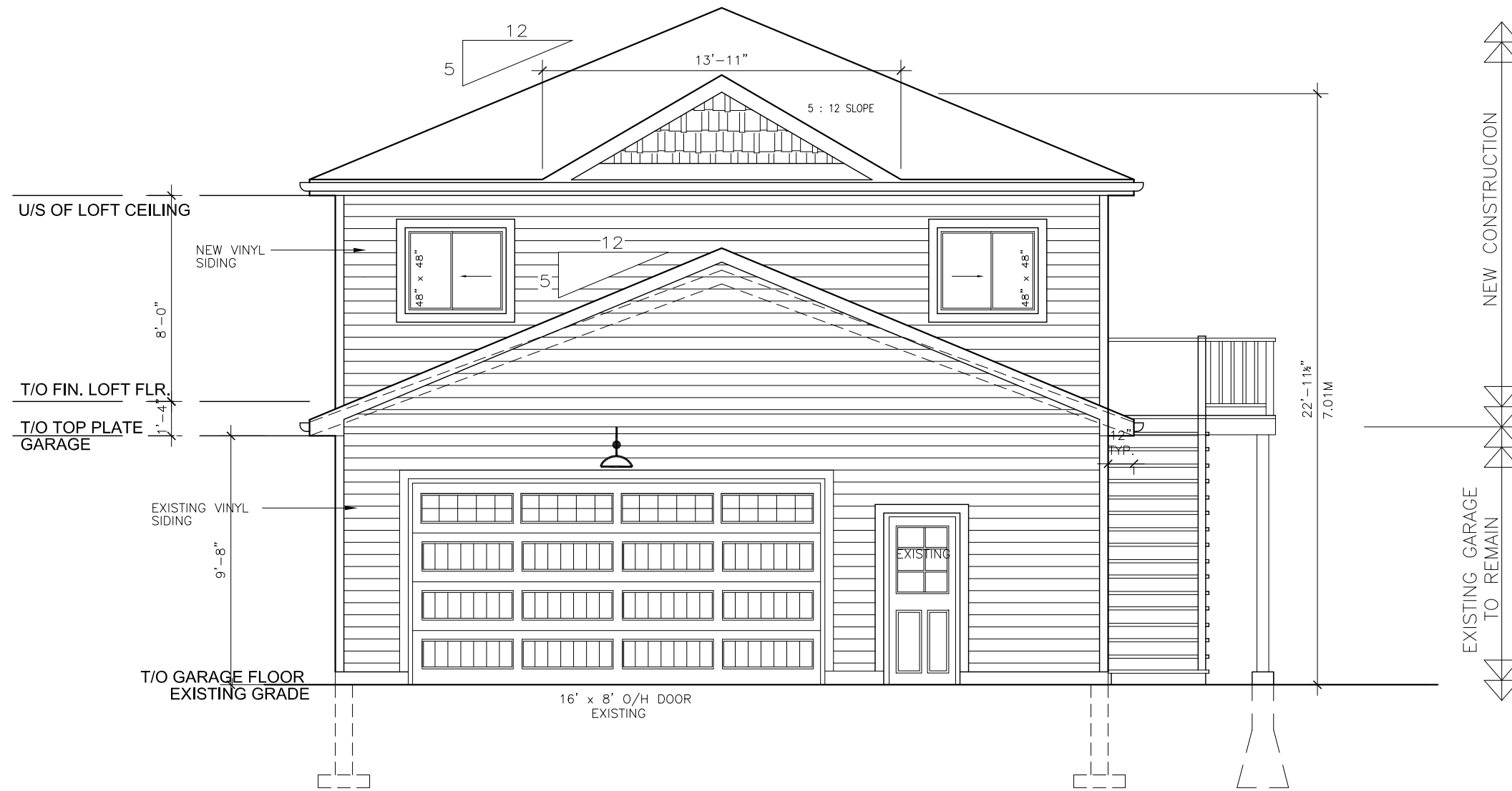
3/16" = 1'-0"

JOB No.

224002

DWG. No.

G-2



GARAGE
FRONT ELEVATION

1008 WESTMINSTER ST.
TOWN OF INNISFIL

JAN. 24, 2024

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DATE:

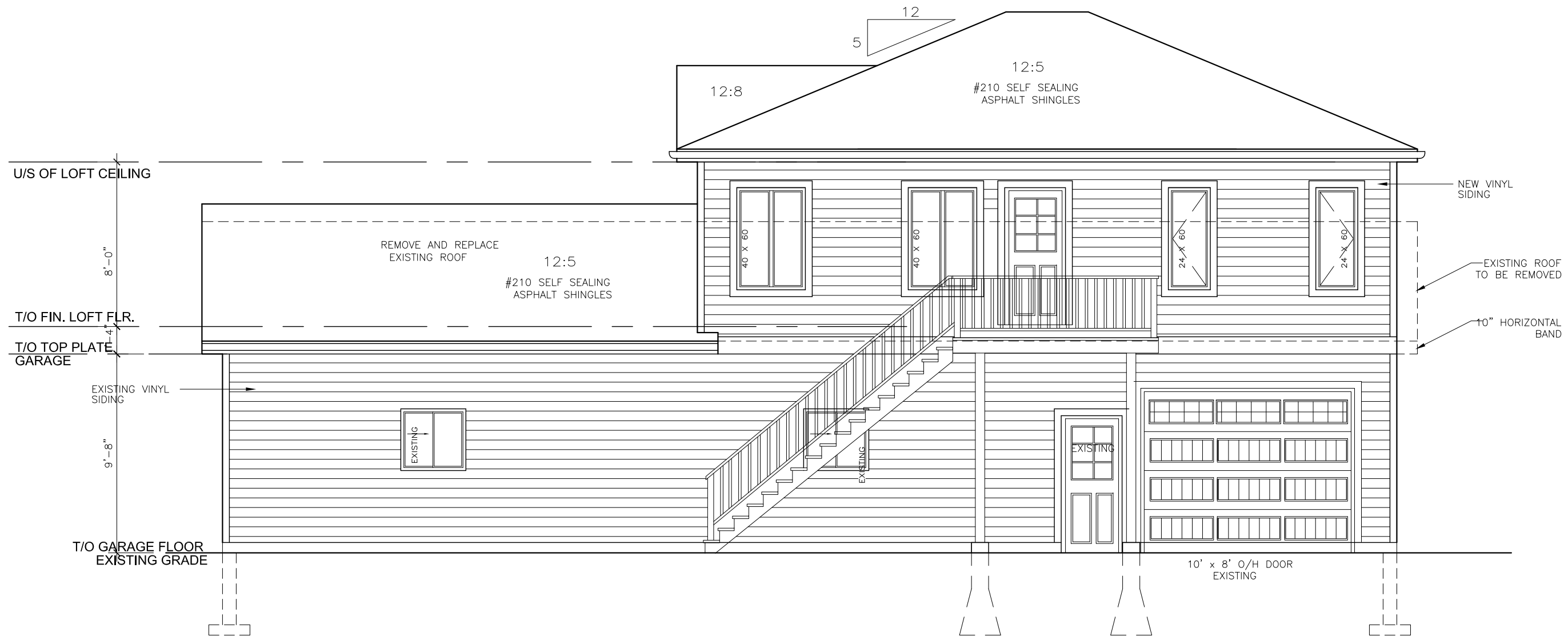
JAN. 24, 2024

DWG. TITLE
GARAGE
FRONT ELEVATION

SCALE:
3/16" = 1'-0"

JOB No.
224002

DWG. No.
G-3



GARAGE
SIDE ELEVATION

1008 WESTMINSTER ST.
TOWN OF INNISFIL

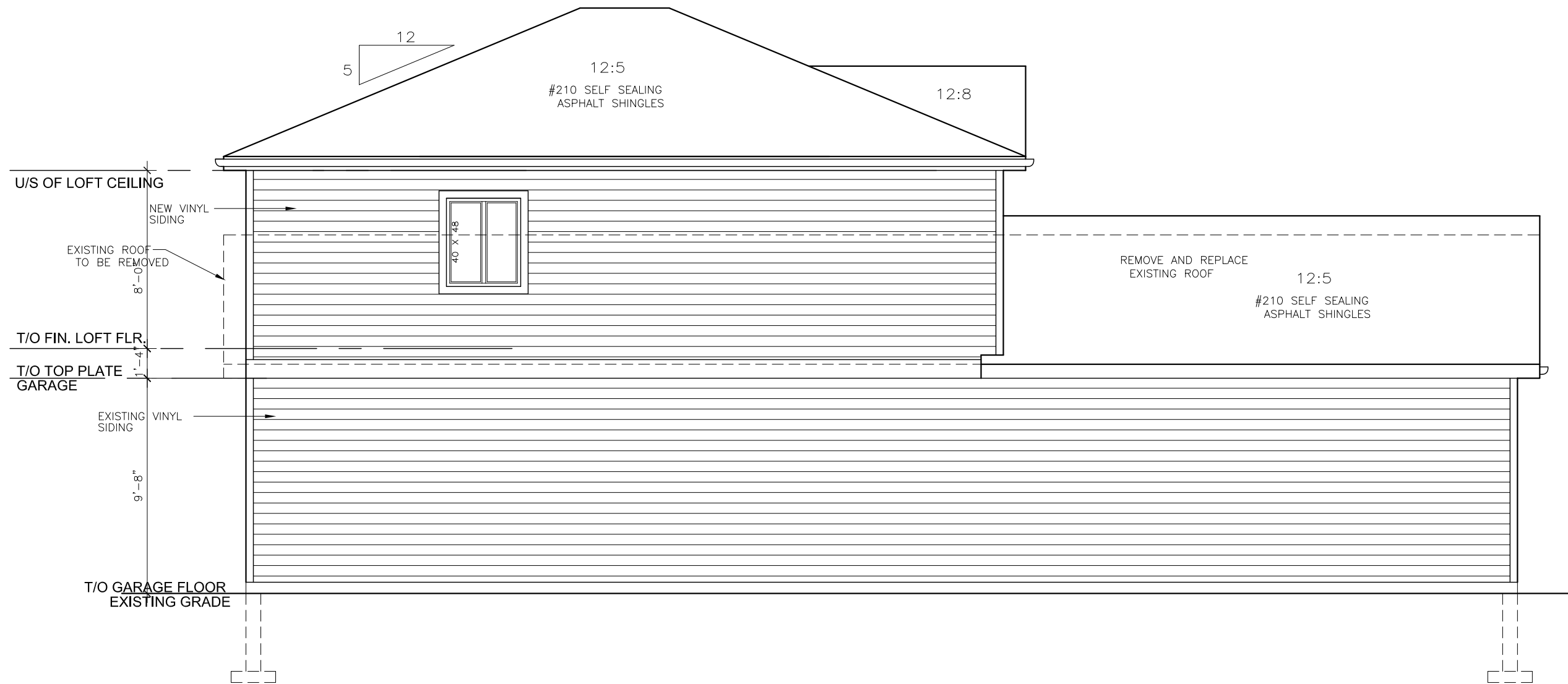
JAN. 24, 2024
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 BARRIE, ONTARIO
 L4N 1A2
 (705) 797-4943
 rjeff@sympatico.ca

DATE:
 JAN. 24, 2024

DWG. TITLE
 GARAGE
 SIDE ELEVATION

SCALE:
 3/16" = 1'-0"

| | |
|-------------------|-----------------|
| JOB No. 224002 | DWG. No. G-4 |
|-------------------|-----------------|



GARAGE
SIDE ELEVATION

1008 WESTMINSTER ST.
TOWN OF INNISFIL

JAN. 24, 2024

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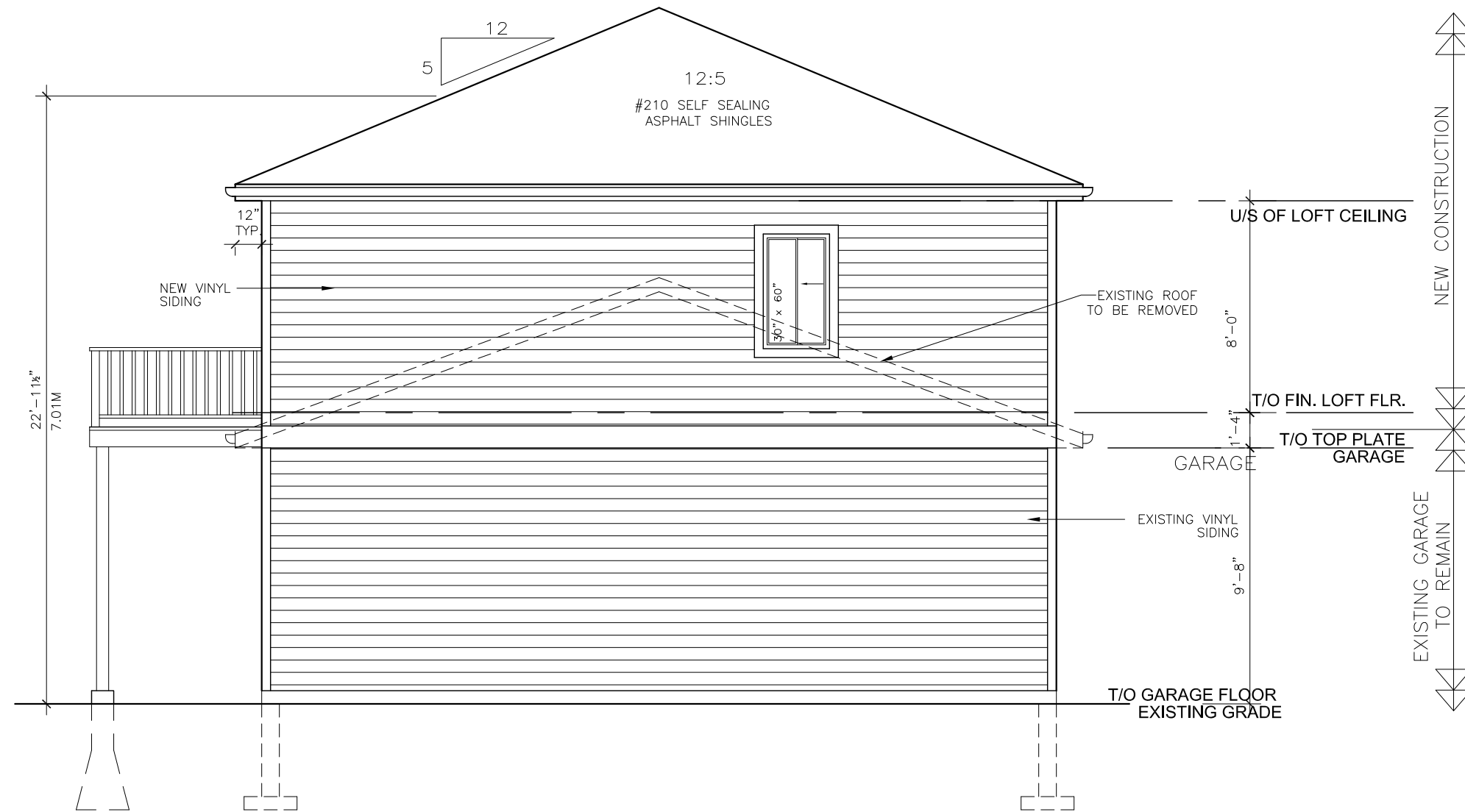
DATE:

JAN. 24, 2024

DWG. TITLE
GARAGE
SIDE ELEVATION

SCALE:
3/16" = 1'-0"

| | |
|-------------------|-----------------|
| JOB No. 224002 | DWG. No. G-5 |
|-------------------|-----------------|



GARAGE
REAR ELEVATION

1008 WESTMINSTER ST.
TOWN OF INNISFIL

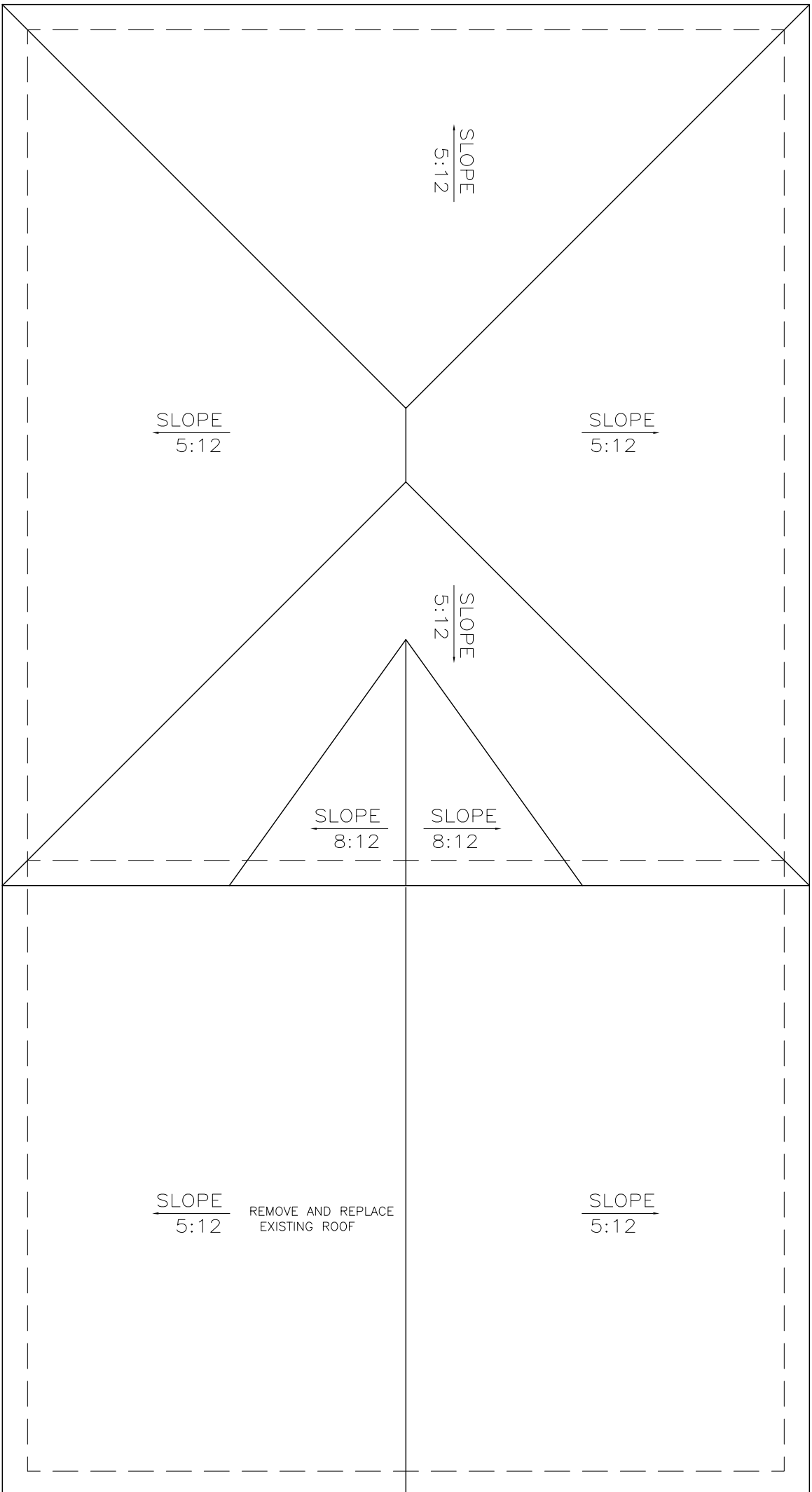
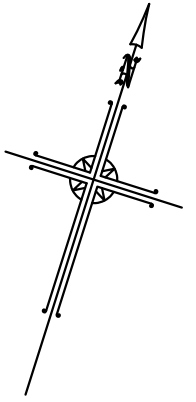
JAN. 24, 2024
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DATE:
JAN. 24, 2024

DWG. TITLE
GARAGE
REAR ELEVATION

SCALE:
3/16" = 1'-0"

| | |
|-------------------|-----------------|
| JOB No. 224002 | DWG. No. G-6 |
|-------------------|-----------------|



HOUSE
ROOF PLAN

1008 WESTMINSTER ST.
TOWN OF INNISFIL

JAN. 24, 2024

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DATE:

JAN. 24, 2024

DWG. TITLE
GARAGE
ROOF PLAN

SCALE:
3/16" = 1'-0"

JOB No. 224002 DWG. No. G-7