



**COMMITTEE OF ADJUSTMENT NOTICE OF PUBLIC HEARING
APPLICATION NO. A-003-2024**

TAKE NOTICE that an application has been received by the Town of Innisfil from **Jason Simoes, Owner**, for a minor variance from Zoning By-law 080-13, pursuant to Section 45 of the *Planning Act*, R.S.O. 1990, c. P.13, as amended.

The subject property is described legally as **PLAN 1378 LOT 7** and is known municipally as **1008 Westminister Street** and is zoned as “**Residential 1 (R1)**”.

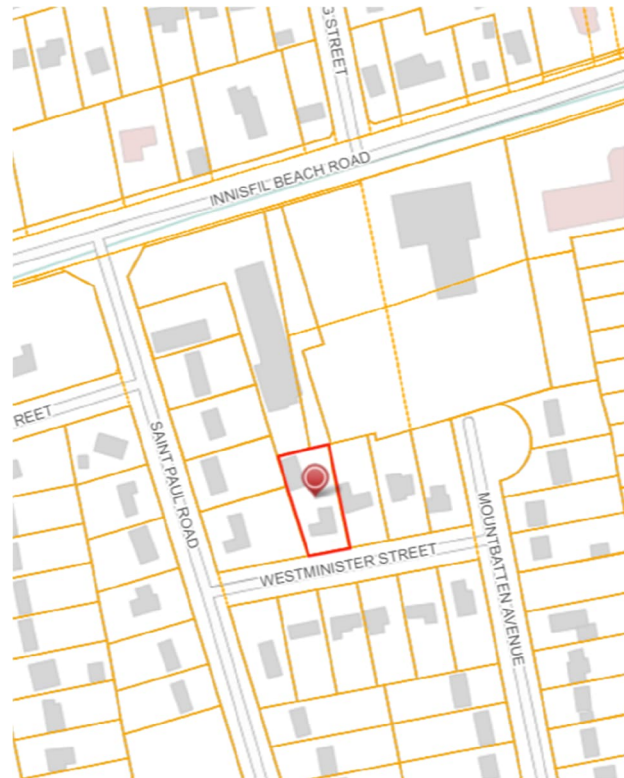
The applicant is proposing to construct an accessory dwelling unit with a deficient side yard setback of 1.08 m. The applicant is seeking relief from Section 3.5 (j) of the Zoning By-law which requires a minimum rear and side lot line setback of 1.2 m.

The Committee of Adjustment for the Town of Innisfil will consider this application in person at Town Hall and virtually through Zoom on **Thursday, March 14, 2024, at 6:30 PM.**

To participate in the hearing and/or provide comments, you must register by following the link below or scanning the above QR code: <https://innisfil.ca/en/building-and-development/committee-of-adjustment-hearings.aspx>

Requests can also be submitted in writing to: Town of Innisfil Committee of Adjustment, 2101 Innisfil Beach Road, Innisfil, Ontario, L9S 1A1 or by email to planning@innisfil.ca.

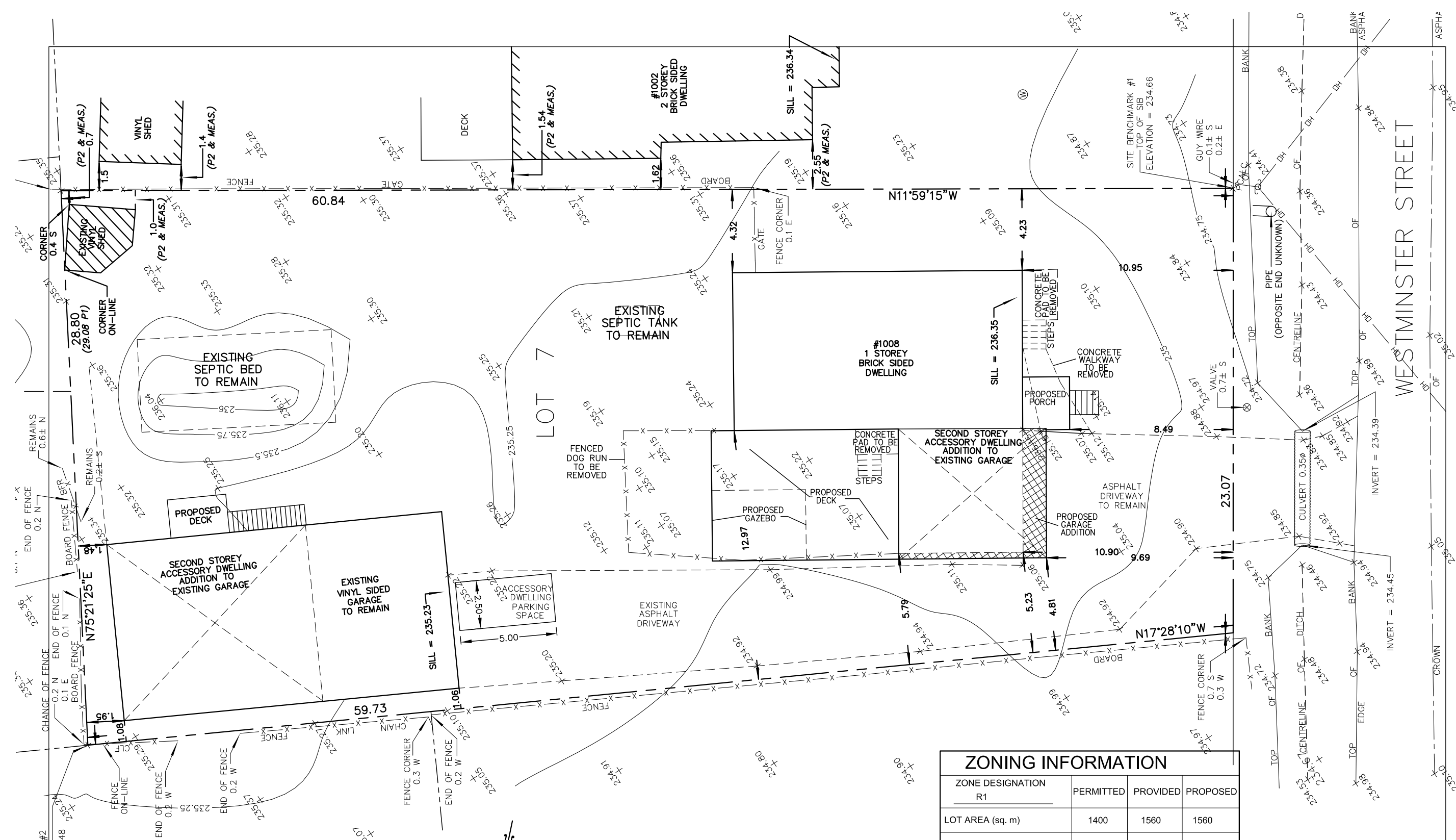
If you wish to receive a copy of the decision of the Committee of Adjustment in respect of the proposed minor variance, you must make a written request to the Secretary-Treasurer of the Committee of Adjustment by way of email or regular mail. The Notice of Decision will also explain the process for appealing a decision to the Ontario Lands Tribunal.



Additional information relating to the proposed application is available on the Town of Innisfil website. Accessible formats are available on request, to support participation in all aspects of the feedback process. To request an alternate format please contact Planning Services at planning@innisfil.ca.

Dated: **March 5, 2024**

Toomaj Haghshenas,
Secretary-Treasurer
thaghsheenas@innisfil.ca
705-436-3710 ext. 3316



ZONING INFORMATION			
ZONE DESIGNATION	PERMITTED	PROVIDED	PROPOSED
R1			
LOT AREA (sq. m)	1400	1560	1560
FRONT YARD SETBACK (m)	8.0	10.90	8.49
INTERIOR SIDE YARD SETBACK (m)	1.5	5.23	4.81
INTERIOR SIDE YARD SETBACK DETACHED ACCESSORY DWELLING (m)	1.2	1.06	1.06
REAR YARD SETBACK DETACHED ACCESSORY DWELLING (m)	1.2	1.48	1.48
BUILDING AREA with HOUSE PORCH & DETACHED GARAGE (sq.m.)	XXXX	322.28	356.75
LOT COVERAGE (%)	35%	20.66%	22.86%
BUILDING HEIGHT (m)	6.0	7.01	7.01

SURVEY INFORMATION TAKEN FROM RUDY MAK SURVEYING LTD. DRAWING OF JANUARY 29, 2024

SURVEYOR'S REAL PROPERTY REPORT (PART 1) PLAN OF SURVEY OF LOT 7 REGISTERED PLAN 1378 TOWN OF INNISFIL COUNTY OF SIMCOE

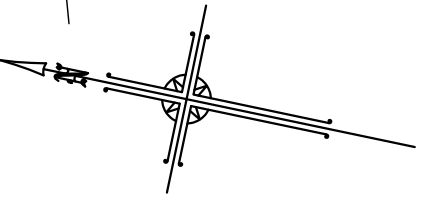
In accordance with Article 3.2.5.1 of the Ontario Building Code (OBC) the undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.5.1 of the OBC

Rob Jeffries 24872
Name Signature BCIN

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.1 of the OBC

R.A. Jeffries & Associates 32821
Firm Name BCIN



THESE DRAWINGS MUST BE CHECKED BY THE CUSTOMER OR CONTRACTOR. ANY ERRORS OR OMISSIONS MUST BE REPORTED IN WRITING TO DESIGNER PRIOR TO COMMENCEMENT OF CONSTRUCTION.
THESE DRAWINGS MUST NOT BE SCALED.

REV.	DESCRIPTION	DATE
2	ISSUED FOR C OF A	02/14/24
1	ISSUED FOR CLIENT REVIEW	02/06/24

GENERAL NOTES

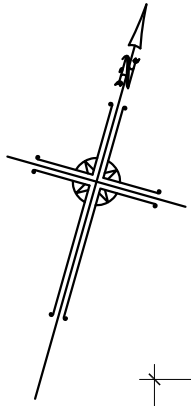
Blank area for general notes.

R.A. JEFFRIES & ASSOCIATES
36 DUNLOP ST. W.
BARRIE, ONTARIO
L4N 1A2
(705) 797-4943
rjeff@sympatico.ca
BCIN No. 24872

PROJECT
SIMOE'S RESIDENCE GARAGE ADDITION
1008 WESTMINSTER ST.

TITLE
SITE PLAN

PROJECT No.: 224002	DATE: JAN. 24, 2024
DRAWN BY: RJ	PAGE NO.
SCALE: 1:200	SP1

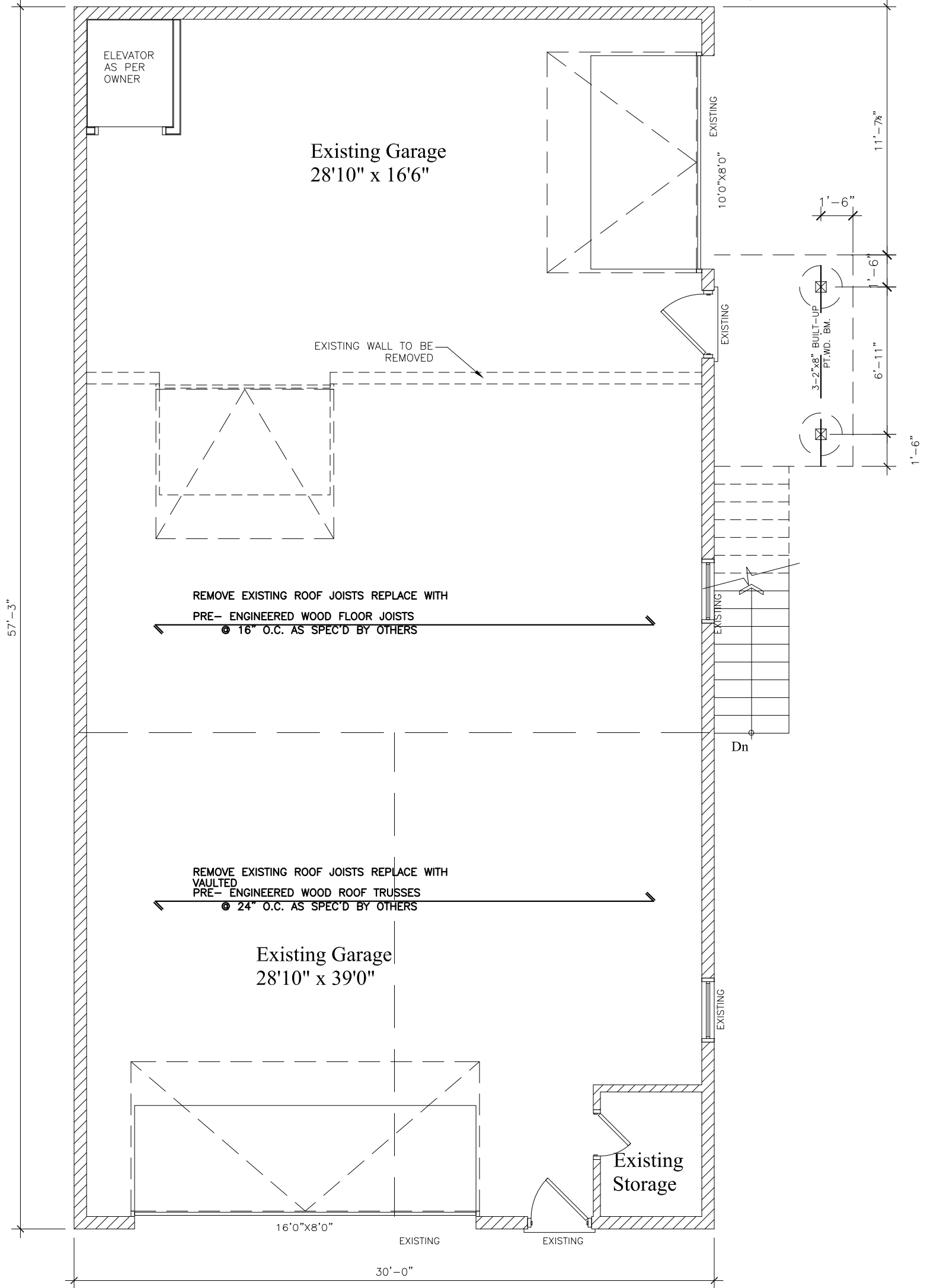


FLOOR AREA CALCULATIONS

		SQUARE FOOTAGE
second floor addition		1009
total	(ft)²	1009
coverage detached garage	(ft)²	1717
	(m)²	159.51

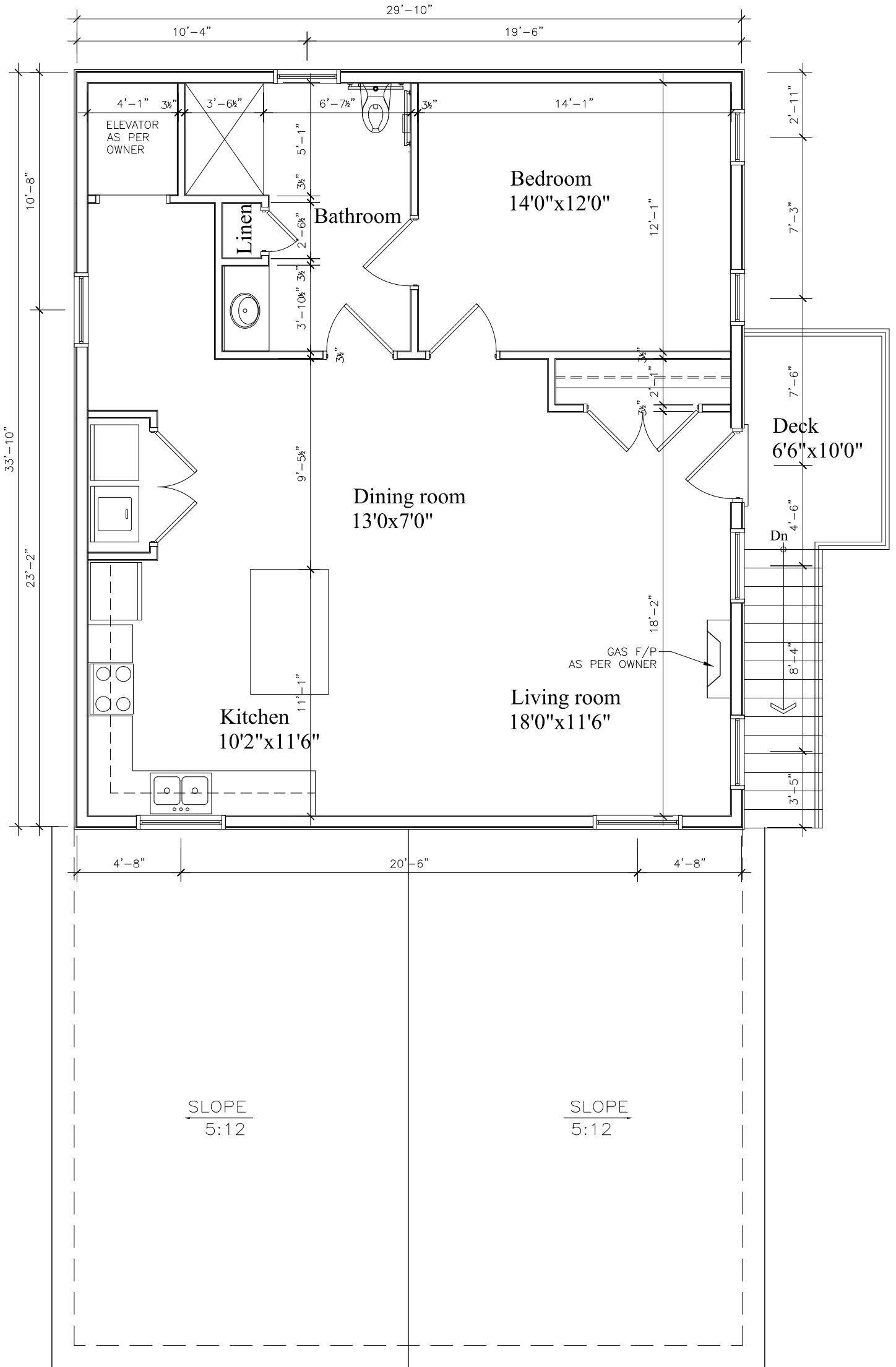
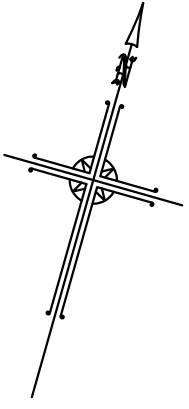
LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING ITEMS TO BE REMOVED
- NEW INTERIOR WALL
2" X 4" WOOD STUDS @ 16" O.C.
1/2" DRYWALL BOTH SIDES
- NEW FOUNDATION WALL
8" CONCRETE BLOCK
W/ 20"X6" FOOTING
W/ R20ci BATT INSULATION
- NEW EXTERIOR WALL
SIDING W/
1" R-5 INSUL BOARD SHEATHING
2" X 6" WOOD STUDS @ 16" O.C.
R-20 BATT INSUL. W/ 6mil. V.B.
1/2" DRYWALL



GARAGE
MAIN FLOOR PLAN

JOB No. 224002	DWG. No. G-1	SCALE: 3/16" = 1'-0"	DWG. TITLE GARAGE MAIN FLOOR PLAN	DATE: JAN. 24, 2024	R.A. JEFFRIES & ASSOCIATES 36 DUNLOP ST. W. BARRIE, ONTARIO LAN 1A2 (705) 797-4943 rjeff@sympatico.ca	FEB. 14, 2024 JAN. 24, 2024	<h1 style="margin: 0;">1008 WESTMINSTER ST.</h1> <p style="margin: 0;">TOWN OF INNISFIL</p>
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GARAGE
SECOND SUITE PLAN

1008 WESTMINSTER ST.
TOWN OF INNISFIL

FEB. 14, 2024
JAN. 24, 2024

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BARRIE, ONTARIO
L4N 1A2
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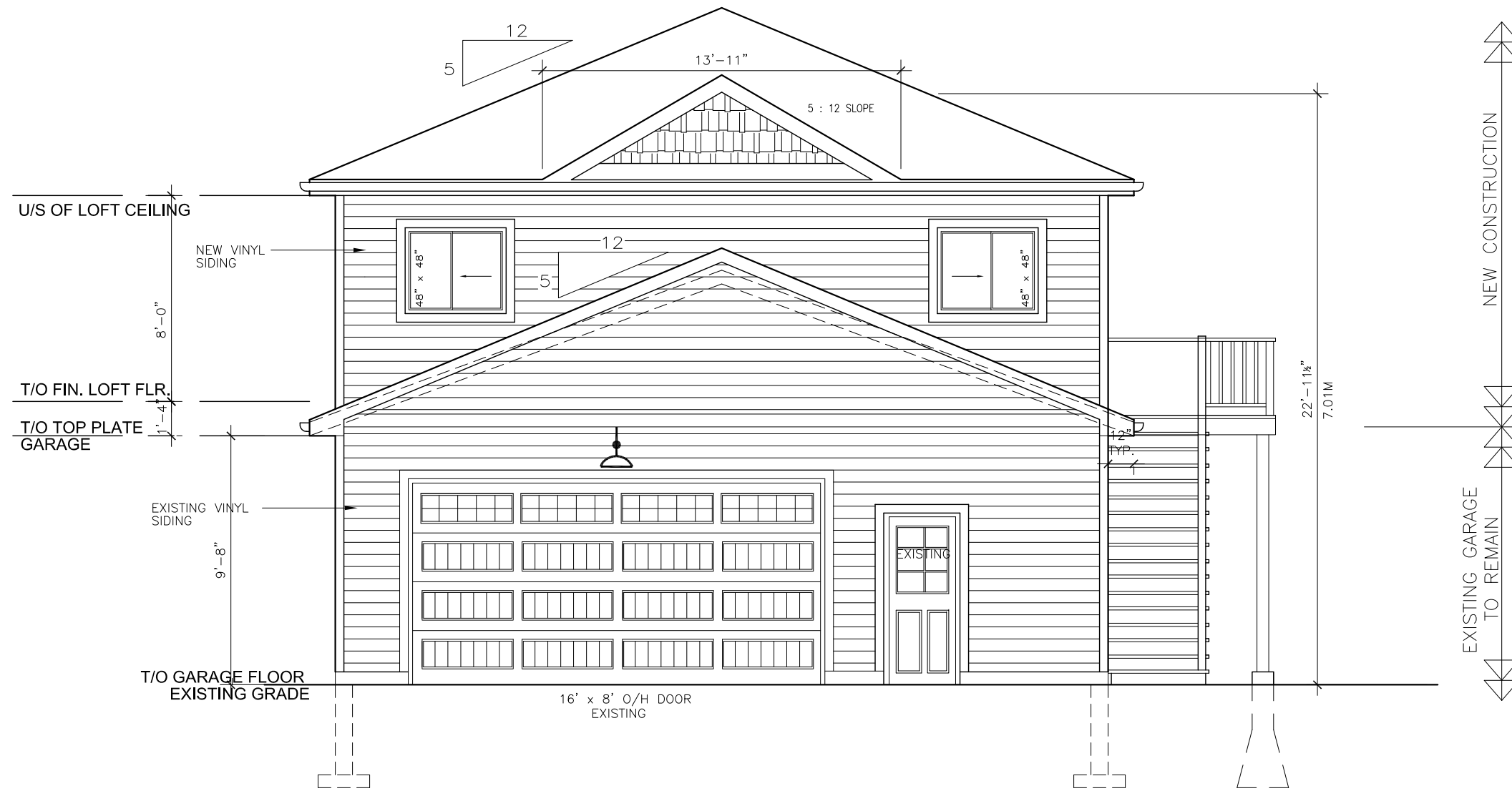
DATE:

JAN. 24, 2024

DWG. TITLE
GARAGE
SECOND SUITE PLAN

SCALE:
3/16" = 1'-0"

JOB No. 224002
DWG. No. G-2



GARAGE
FRONT ELEVATION

1008 WESTMINSTER ST.
TOWN OF INNISFIL

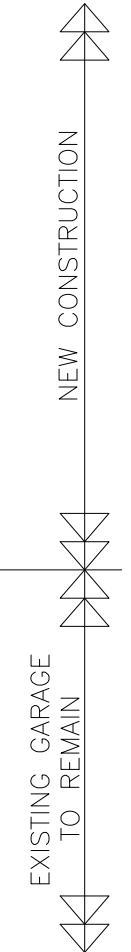
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 BARRIE, ONTARIO
 L4N 1A2
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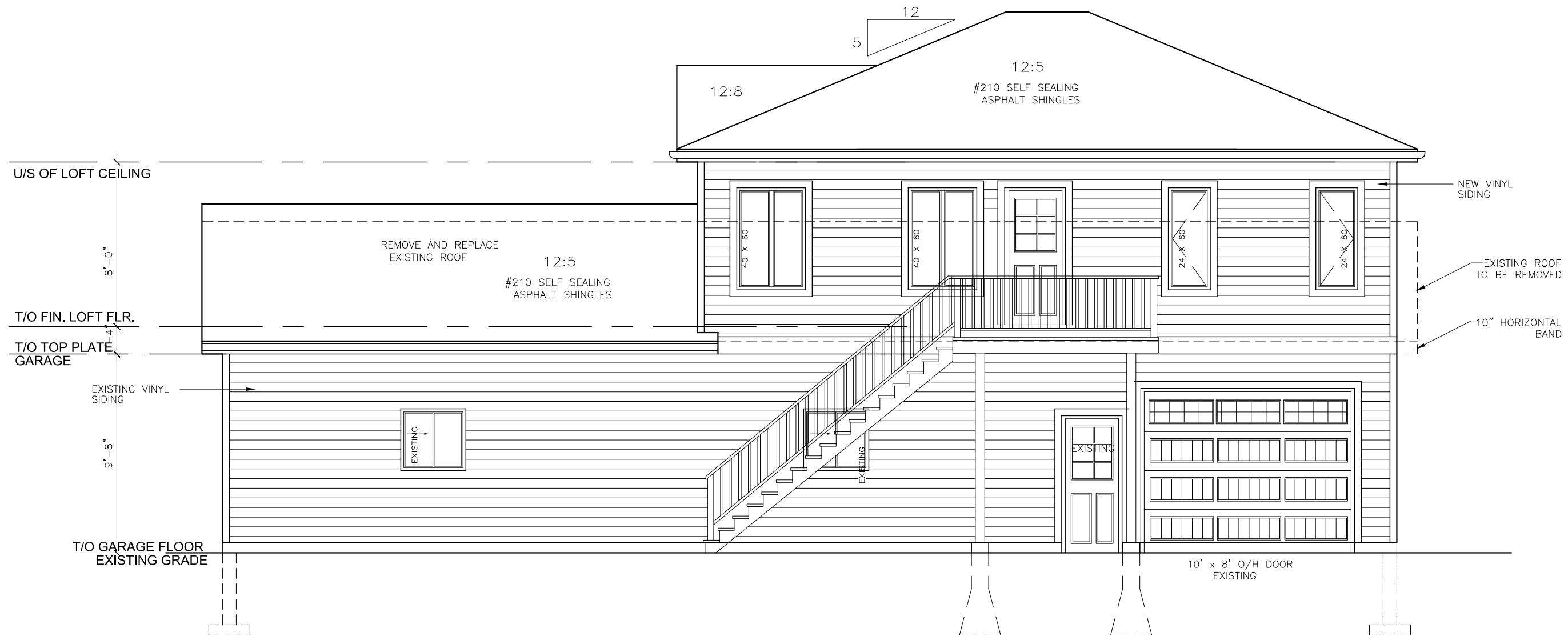
DATE:
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DWG. TITLE
GARAGE
FRONT ELEVATION

SCALE:
3/16" = 1'-0"

JOB No. 224002	DWG. No. G-3
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U/S OF LOFT CEILING

T/O FIN. LOFT FLR.

T/O TOP PLATE GARAGE

EXISTING VINYL SIDING

9'-8"

T/O GARAGE FLOOR EXISTING GRADE

REMOVE AND REPLACE EXISTING ROOF
12:5
#210 SELF SEALING ASPHALT SHINGLES

12:8

12
5

12:5
#210 SELF SEALING ASPHALT SHINGLES

40' x 60'

40' x 60'

24' x 60'

24' x 60'

NEW VINYL SIDING

EXISTING ROOF TO BE REMOVED

10" HORIZONTAL BAND

EXISTING

EXISTING

EXISTING

10' x 8' O/H DOOR EXISTING

GARAGE SIDE ELEVATION

1008 WESTMINSTER ST.
TOWN OF INNISFIL

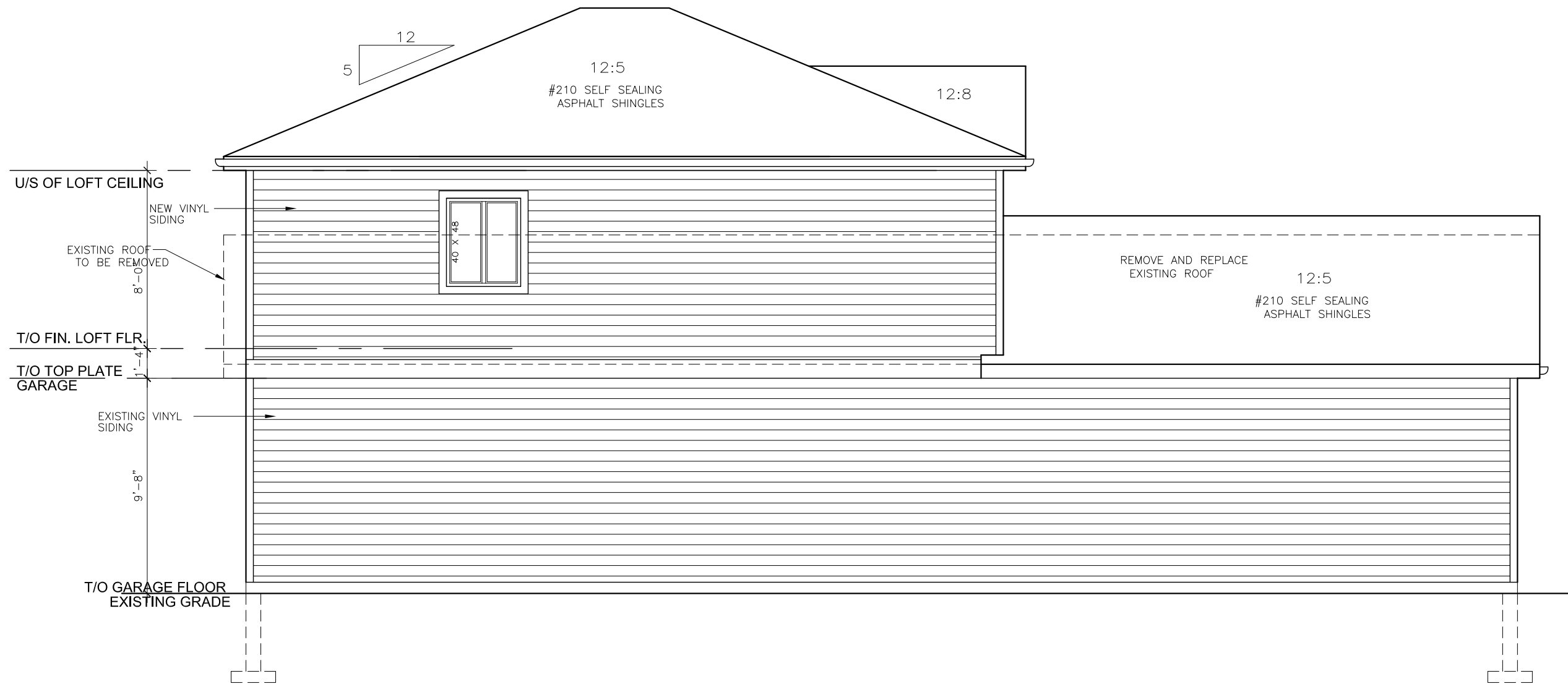
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DATE:
JAN. 24, 2024

DWG. TITLE
GARAGE SIDE ELEVATION

SCALE:
3/16" = 1'-0"

JOB No. 224002	DWG. No. G-4
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GARAGE
SIDE ELEVATION

1008 WESTMINSTER ST.
TOWN OF INNISFIL

JAN. 24, 2024

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& ASSOCIATES**
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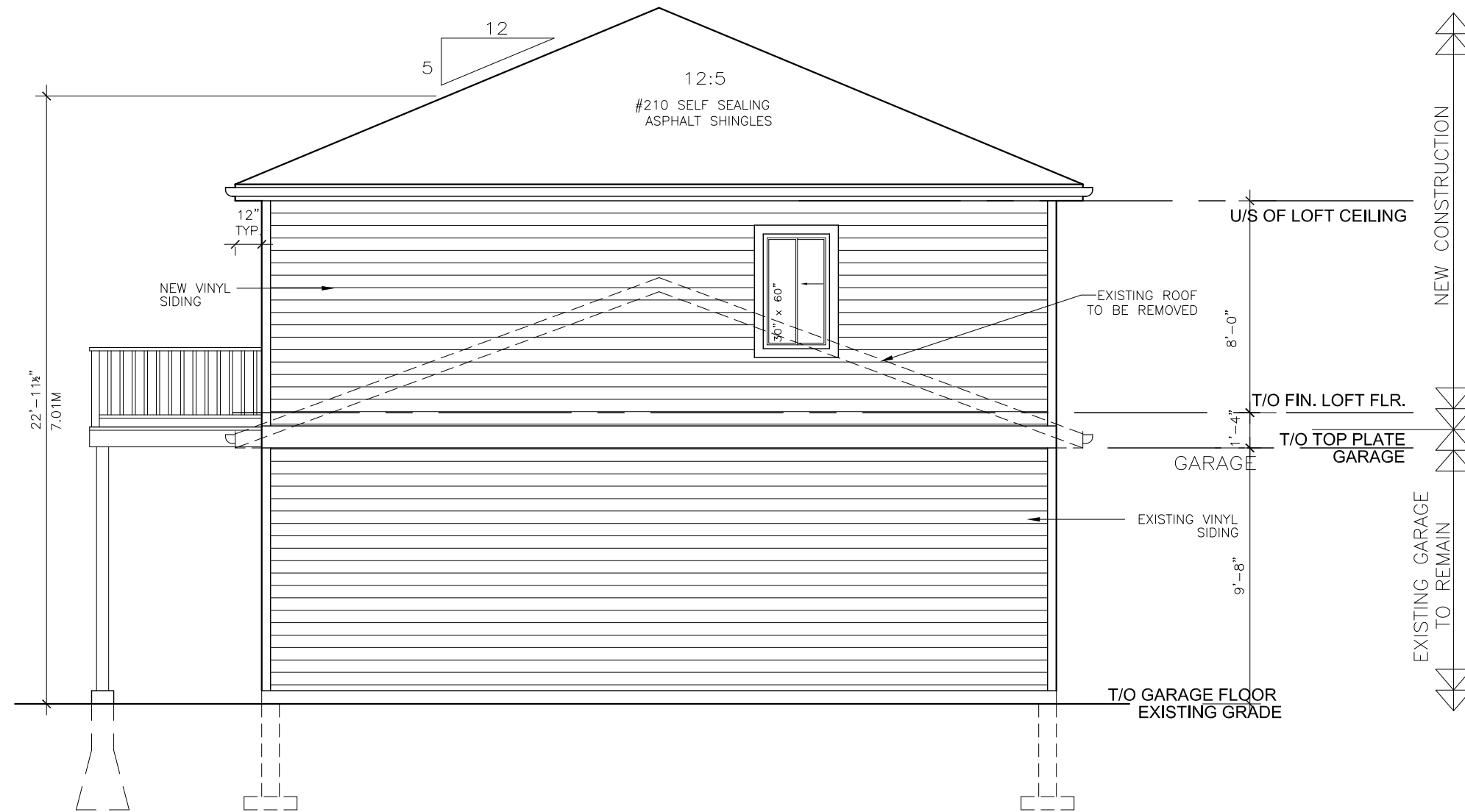
DATE:

JAN. 24, 2024

DWG. TITLE
GARAGE
SIDE ELEVATION

SCALE:
3/16" = 1'-0"

JOB No. 224002	DWG. No. G-5
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GARAGE
REAR ELEVATION

1008 WESTMINSTER ST.
TOWN OF INNISFIL

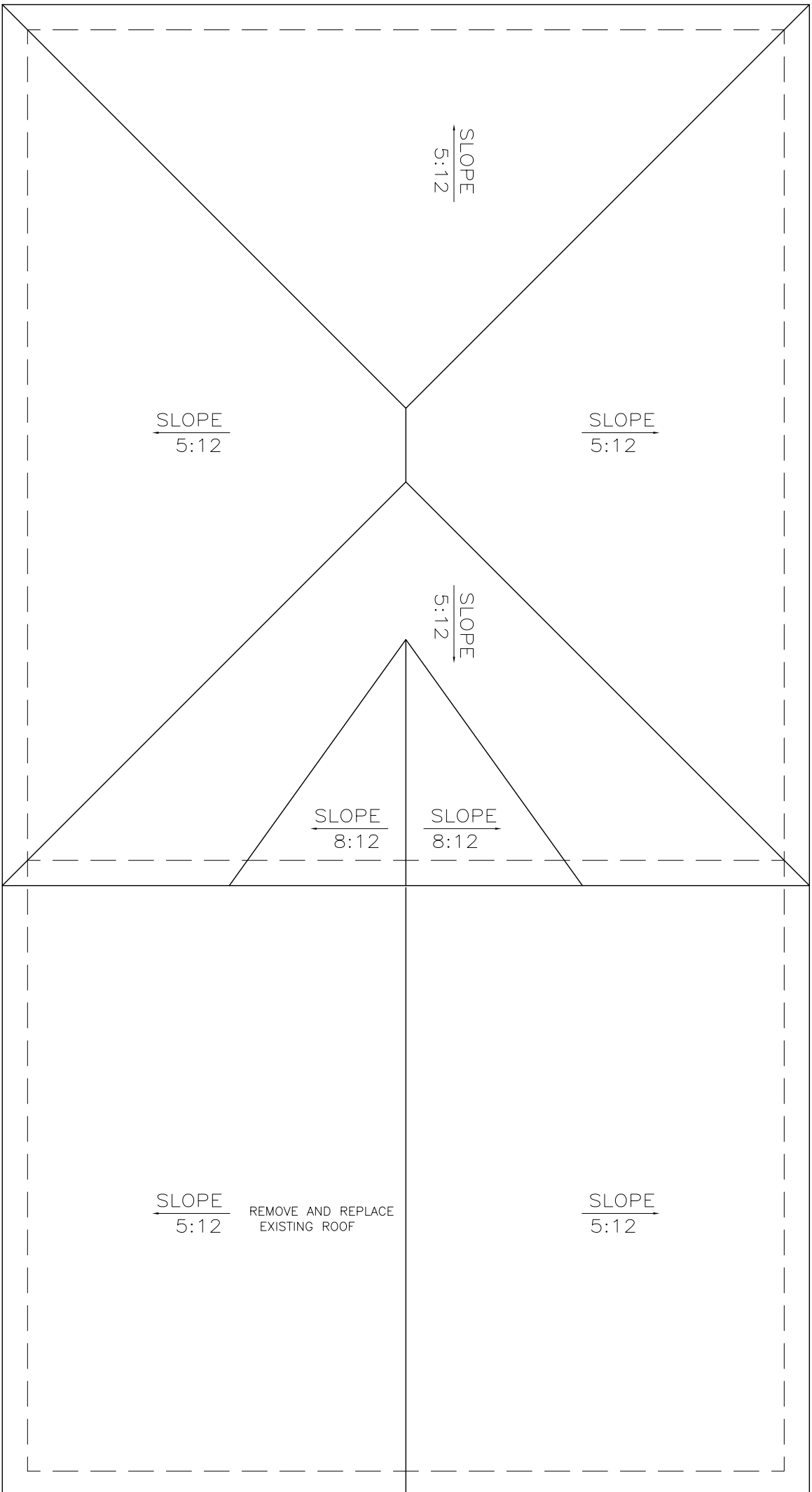
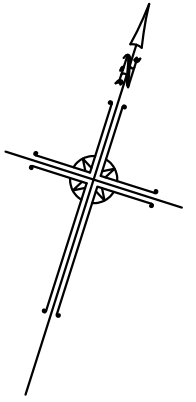
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 & ASSOCIATES**
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DATE:
JAN. 24, 2024

DWG. TITLE
GARAGE
REAR ELEVATION

SCALE:
3/16" = 1'-0"

JOB No. 224002	DWG. No. G-6
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HOUSE
ROOF PLAN

1008 WESTMINSTER ST.
TOWN OF INNISFIL

JAN. 24, 2024

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LAN 1A2
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DATE:

JAN. 24, 2024

DWG. TITLE
GARAGE
ROOF PLAN

SCALE:
3/16" = 1'-0"

JOB No. 224002 DWG. No. G-7