



## SHORELINE PERMIT APPLICATION

The undersigned hereby applies to the Town of Innisfil to consider this Community Planning Permit Application pursuant to Section 34 of the Planning Act, R.S.O. 1990, as amended and O. Reg. 173/16.

FOR OFFICE USE ONLY		
Shoreline Permit #:	Date Received:	
LSRCA fees collected: <input type="checkbox"/> Yes <input type="checkbox"/> No	Receipt #:	
<input type="checkbox"/> Class 3 (Standard) (Conforms to CPPS By-law)	<input checked="" type="checkbox"/> Class 2 Permit (Staff Variation)	<input checked="" type="checkbox"/> Class 1 Permit (Council Variation)

for patio

for pool

<b>1. LOCATION OF SUBJECT LANDS</b>
Municipal Address: 1401 Maple Road, Innisfil L9S 4R1
Town Lot and Concession Number: Lots 7+8
Registered Plan and Lot/Block Number: 517
Reference Plan and Part Numbers:
<b>2. APPLICANT INFORMATION:</b>
[REDACTED]
<b>3. OWNER INFORMATION:</b> <input type="checkbox"/> Same as Applicant
[REDACTED]
<b>4. PURPOSE OF APPLICATION:</b>
Description of proposed work (please include a detailed description including any proposed new structures or removal of structures, landscape changes, waterfront impacts, etc.): Demolish part of existing wood deck. Install new fences and build new pool with surrounding patio.

<b>5. PROPERTY DIMENSIONS:</b>		
Lot Frontage: 33.56 m	Lot Depth: 53.31 m	Lot Area: 2076.71 m <sup>2</sup>
Area of Work (m <sup>2</sup> ): 250 m <sup>2</sup>		
<b>6. IS A VARIANCE BEING REQUESTED WITHIN THE PROVISIONS SET OUT IN THE COMMUNITY PLANNING PERMIT BY-LAW?</b>		
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, please provide a brief description and rationale for the variance:		
<b>7. ARE YOU PROPOSING TO CONSTRUCT ANY IN-WATER STRUCTURES? (i.e. Boathouse, Permanent Dock, Breakwaters)</b>		
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, please provide a brief description of the proposed in-water structures:		
<b>8. ACCESS &amp; SERVICING</b>		
Property Access: <input checked="" type="checkbox"/> By a Public Road <input type="checkbox"/> By a Private Road <input type="checkbox"/> Other:		
Property Storm Drainage: <input type="checkbox"/> Sewers <input checked="" type="checkbox"/> Ditches <input type="checkbox"/> Swales <input type="checkbox"/> Other:		
Water Service Type: <input type="checkbox"/> Publicly owned <input checked="" type="checkbox"/> Privately owned <input type="checkbox"/> Other:		
Sanitary Sewer Service Type: <input checked="" type="checkbox"/> Septic System <input type="checkbox"/> Privy <input type="checkbox"/> Other:		
Easements: <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes, please provide a description:		
<b>9. HAS THE LAND EVER BEEN THE SUBJECT OF AN APPLICATION UNDER THE ACT FOR:</b> <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No    If yes, please complete the below:		
<i>Check all applicable boxes and provide file number if applicable:</i>		
<input type="checkbox"/> Plan of Subdivision	(File Number: _____)	Status: _____)
<input type="checkbox"/> Zoning Amendment	(File Number: _____)	Status: _____)
<input type="checkbox"/> Site Plan Control	(File Number: _____)	Status: _____)
<input type="checkbox"/> Minor Variance	(File Number: _____)	Status: _____)
<input type="checkbox"/> Consent/Severance	(File Number: _____)	Status: _____)
<input type="checkbox"/> Other:		
<b>10. HAVE YOU HAD ANY CONSULTATIONS WITH ANY DEPARTMENTS OR EXTERNAL AGENCIES?</b> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No    If yes, please complete the below:		
<i>Check all applicable boxes and provide file number if applicable:</i>		
<input checked="" type="checkbox"/> Town of Innisfil staff		
<input type="checkbox"/> Lake Simcoe Region Conservation Authority (LSRCA)		
<input type="checkbox"/> Ministry of Natural Resources and Forestry		
<input type="checkbox"/> Fisheries and Oceans Canada		
<input type="checkbox"/> Transport Canada		

**Check here to agree, if the Agent is not the owner:**

I have been authorized by the registered owner(s) of the subject lands to submit this application on their behalf. Furthermore, for the purpose of the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), I authorize and consent to the use by disclosure to any person or public body of any information collected under the Planning Act for the purpose of processing this application.

**Check here to agree:**

I declare that all of the statements made and the information provided in this application, as well as any supporting documents are true. I make this declaration conscientiously believing it to be true and knowing it is of the same force and effect as if made under oath or solemn affirmation. I understand that it is an offence to declare a false statutory declaration under section 134 of the Criminal Code of Canada.

**Check here to agree:**

I declare that all documents, drawings, site plans, reports, information and material provided in this application will become the property of the Town of Innisfil and can be used for any reason deemed necessary by the Town of Innisfil.

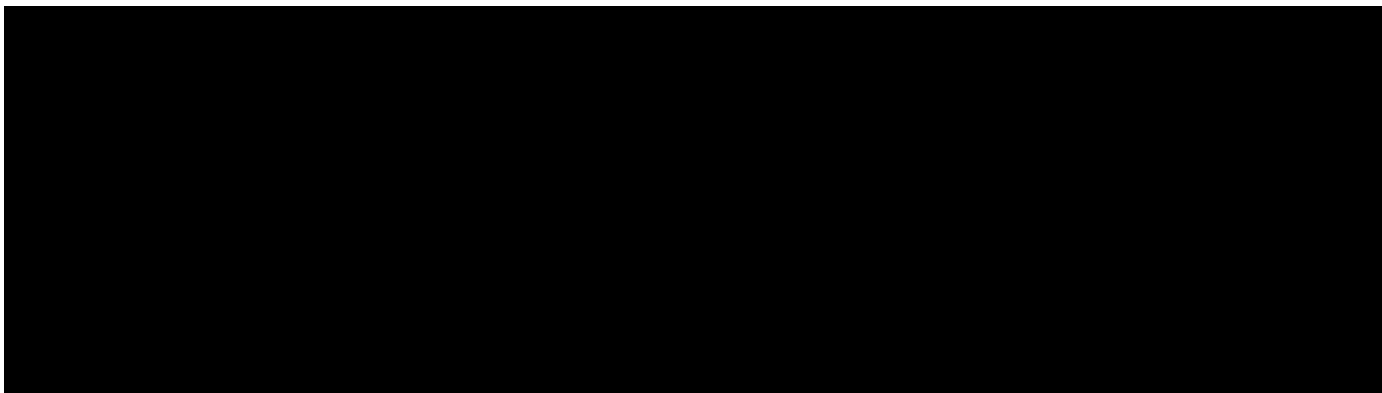
**Check here to agree:**

If upon review of your application, Town Staff or Lake Simcoe Region Conservation Authority (LSRCA) requires additional review fees, the Applicant and/or Owner agrees to pay any additional review fees to the Town or LSRCA.

**Check here to agree:**

If, after six months after the issuance of this permit, the proposed work in respect to which it was issued, has not in the opinion of Town of Innisfil staff, been seriously commenced, the Town of Innisfil has the ability to revoke the permit. Also, in the opinion of Town of Innisfil staff, this permit can be revoked if the proposed work has been substantially suspended or discontinued for a period of more than one year.

I declare that I have read and understand the above.



Owner's Authorization for  
Applicant or Agent to Apply for a  
Permit on behalf of the Owner

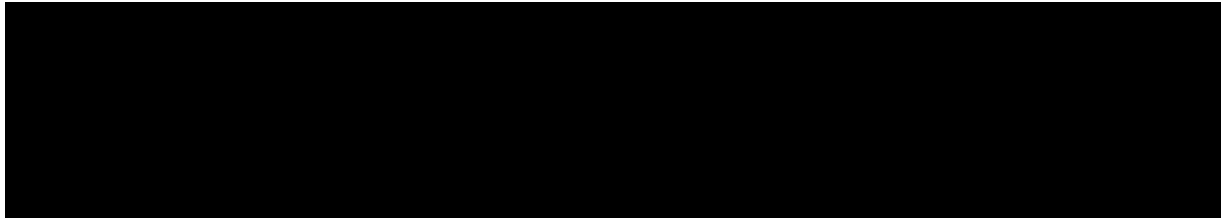


Town of Innisfil  
Planning Department  
2101 Innisfil Beach Road,  
INNISFIL, ON L9S 1A1  
Tel : 705-436-3710  
1-888-436-3710  
Fax: 705-436-7120

Date: \_\_\_\_\_ Permit No.: \_\_\_\_\_

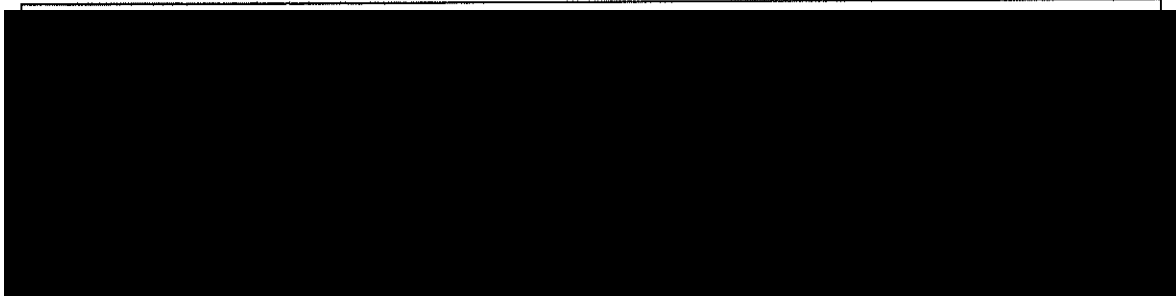
Proposed Work: Demo part of existing deck, build new fences, pool and patio  
surrounding pool.

Location: 401 Maple Road, Innisfil



to apply for a permit for the above referenced project on my behalf. I understand that I shall be responsible for the terms of the conditions contained in the permit.

(If owner is an INDIVIDUAL)



(If owner is a CORPORATION)

_____	_____
Owner's Name	Address
_____	_____
Name of Authorizing Officer	Phone No. / E-Mail
_____	
Signature of Authorizing Officer (I have authority to bind the Corporation)	

**Planning Justification Report  
1401 Maple Road – Ricki Fenwick  
Town of Innisfil, County of Simcoe  
Applications for Council Variation Class 1 Permit and  
Staff Variation Class 2 Permit**

**September, 2020**

Prepared by  
Michael Smith Planning Consultants;  
Development Coordinators Ltd.

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Figure 4 – Site Plan/Grading Plan  
Figure 5 – Picture of Front Yard  
Figure 6 – Landscape Plan  
Table 1 – Review of Variations required

## **1. Introduction**

Michael Smith Planning Consultants; Development Coordinators Ltd. is providing this Planning Justification Report on behalf of the owner of 1401 Maple Road (Mrs. Ricki Fenwick). The Planning Justification Report is required in support of a shoreline permit application for a Council Variation Class 1 permit and a shoreline permit application for a Staff Variation Class 2 permit. The permits are being submitted on behalf of the owner by Renaissance Nouveau Design Inc.

The Council Variation Class 1 Permit application is seeking relief from the Town's Community Planning Permit By-law to allow for the construction of an in-ground pool. The pool is proposed to be 15.42m from the waterfront lot line; whereas, the by-law requires the pool to be 30m from the waterfront lot line.

The Staff Variation Class 2 Permit application is seeking relief from the Town's Community Planning Permit By-law to allow for the construction of a patio around the proposed in-ground pool. The patio is proposed to be 13.72m from the waterfront lot line and 3.72m from the north interior lot line; whereas, the by-law requires the patio to be 15m from the waterfront lot line and 4m from the north interior lot line.

## **2. Retainer**

*Michael Smith Planning Consultants; Development Coordinators Ltd.* was retained in September of 2020 to prepare a *Planning Justification Report* in support the required variations.

## **3. General Description of Subject Land and Surrounding Uses**

The subject land is a waterfront property that is located on the east side of Maple Road approximately 700m south of the 6th Line. Legally the property is described as Lots 7 and 8, Registered Plan 517. The subject land contains a dwelling, boathouse, dock, several decks and a shed. The property is rectangular in shape, approximate 2076m<sup>2</sup> in size with approximately 33.56m of frontage along Maple Road and Lake Simcoe.

The subject land is surrounded by residential uses to the north, south and west. Lake Simcoe lies to the east of the subject land. It is to be noted that the 1393 and 1415 Maple Road have pools and associated patios within the waterfront yard as is proposed by the applicant.

Figure 1: Location Map



#### **4. Description of Proposed Development**

Mrs. Fenwick wants to build an in-ground pool and associated patio in the north-east quadrant of the subject land, between the existing house and boathouse. Currently in the location of the proposed pool and patio there is an existing deck (Figures 2 and 3). The deck is to be removed and the pool and patio installed.

The pool is to be setback 15.42m from the waterfront line, 9.91m from the north lot line, 4.35m from the house and 15.39m from the south lot line. The patio is to be attached to the house and be setback 13.72m from the waterfront line, 3.72m from the north lot line and 13.71m from the south lot line (Figure 4).

The area currently occupied by the existing deck is 83.19m<sup>2</sup>. The area of the proposed pool and patio will be 177.83m<sup>2</sup> of area.



Figure 2: Existing Deck

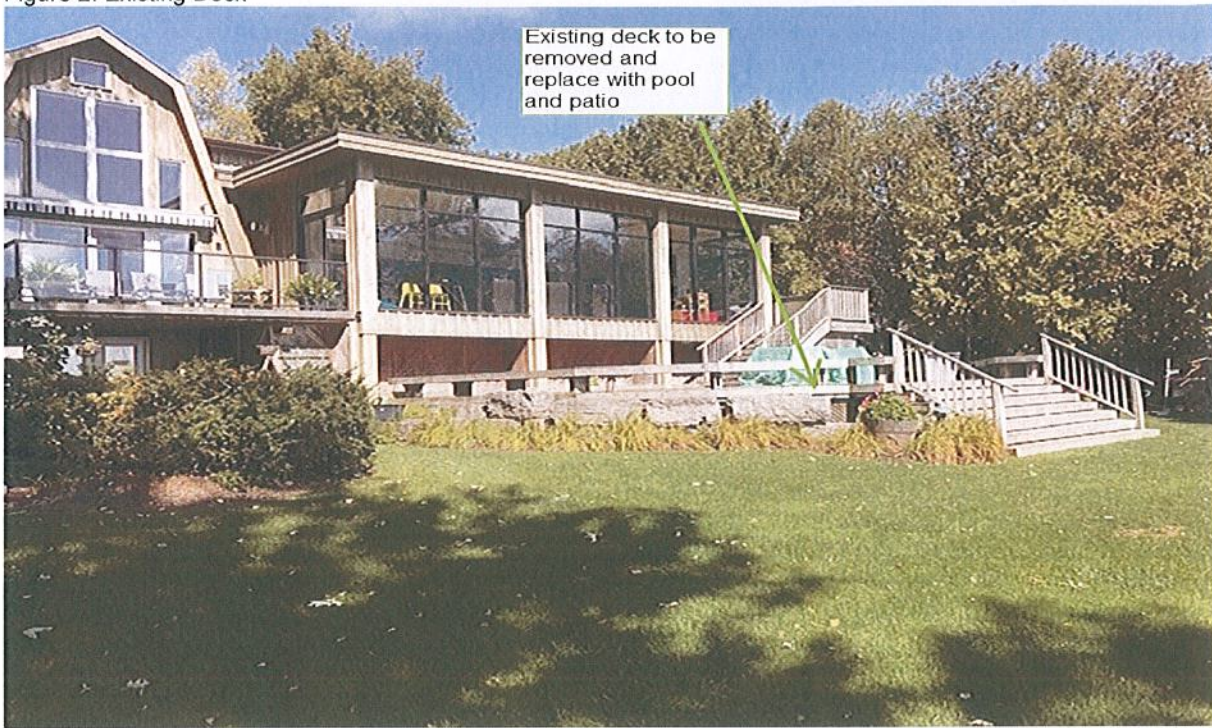


Figure 3: Existing Deck

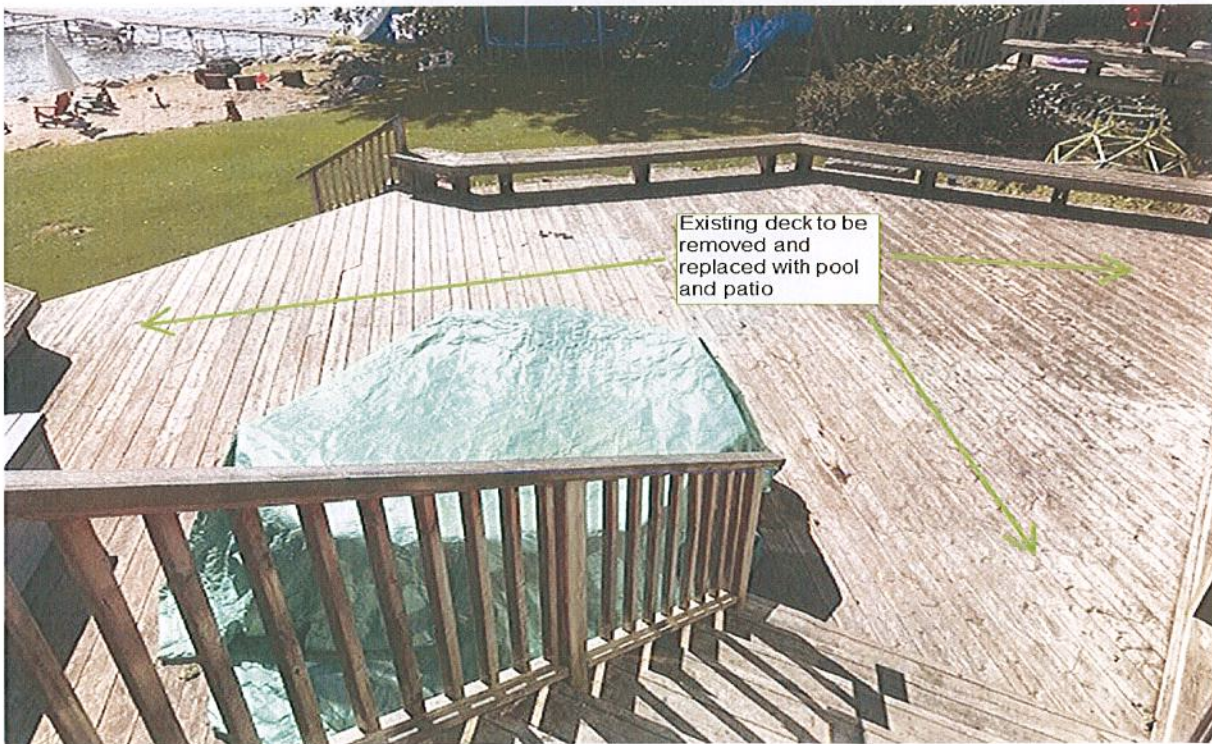


Figure 4: Proposed Site Plan/Grading Plan

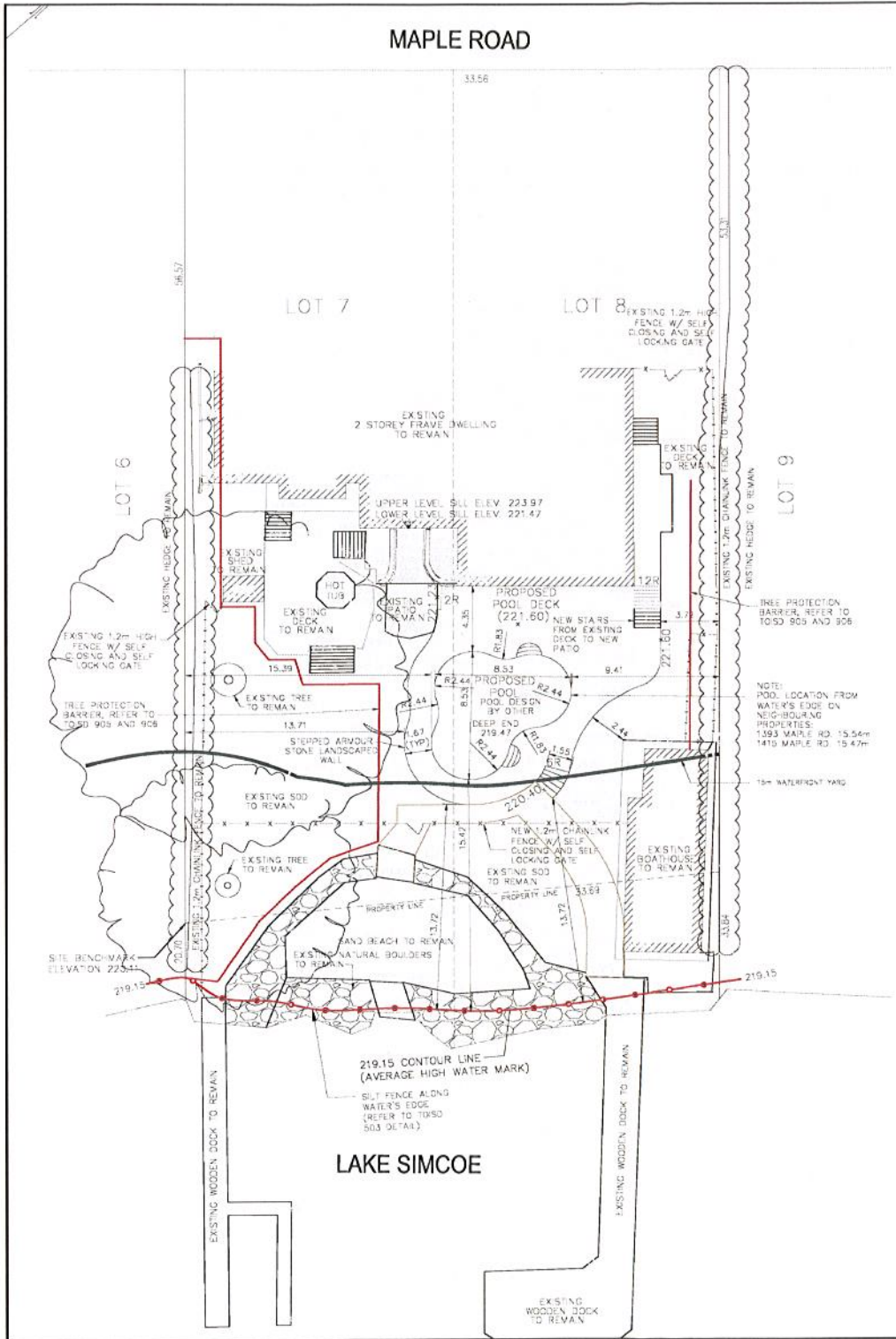


Table 1 below demonstrates the variances needed from Section 5.1.2 (b) and 5.2.6 of the Community Planning Permit By-law

Table 1

		STANDARD	PROPOSED	VARIATION	COUNCIL VARIATION (CLASS 1)	STAFF VARIATION (CLASS 2)
<b>Pool</b>	Quantity	1	1	Not Required	50% Reduction where standard is a minimum, or increase where standard is a maximum	25% Reduction where standard is a minimum, or increase where standard is a maximum
	Front Yard	5m	Not in Front Yard	Not Required		
	Waterfront Yard	30m	15.42	48.6%		
	Side Yard	3m	9.41m and 15.39m	Not Required		
	Height	None	N/A	Not Required		
	Coverage	20%	2.5%	Not Required		
<b>Patio</b>	Lot Area	5260m <sup>2</sup>	2076m <sup>2</sup>	Existing Lot not required	50% Reduction where standard is a minimum, or increase where standard is a maximum	25% Reduction where standard is a minimum, or increase where standard is a maximum
	Lot Frontage	45m	33.56m	Existing Lot not required		
	Waterfront Yard	15m for attached decks, porches and patios	13.72m	8.5%		
	Interior Side Yard	4m	3.72m	7%		
	Lot Coverage	15%	8.9%	Not Required		
	Height	11m	N/A	Not Required		
	Landscape Open Space (lot area)	60%	67.94%	Not Required		
	Landscape Open Space (front yard)	60%	34.10%	Existing Lot		

## **5. Analysis of Town's Community Planning Permit By-law**

Applications for a Council Variation Class 1 Permit and Staff Variation Class 2 Permit have been submitted seeking relief from the Community Planning Permit By-law to facilitate the construction of an in-ground pool and associated patio. Below we have provided our analysis of the proposed variances in relation to Section 1.9 of the By-law.

### *5.1 Is the proposal appropriate for the land?*

The subject land is currently zoned Community Planning Permit System which permits single family dwellings and accessory uses, buildings, and structures (e.g. in-ground pools and patios). The proposed pool and patio are to replace an existing wood deck.

It is typical that homeowners place pools and associated decks or patios in the rear yard of their properties (i.e. the yard not abutting the street). In this instance it is considered the waterfront yard). Other properties in the area have pools and patios within the waterfront yard as is proposed with the subject land. As this is the typical location for pools and associated patios it is logical to locate the proposed pool and patio in this area of the subject land. As the dwelling on the subject land does not meet the required 30m waterfront yard setback, it is not possible to locate the proposed pool and patio in compliance with the 30m setback.

It is our opinion that the in-ground pool and patio as proposed in the waterfront yard, is appropriate for the land.

### *5.2 Does the proposal take into account the unique characteristics of the property?*

The proposal does take into account the unique characteristics of the subject land. The front yard of the subject land contains a horseshoe driveway and significant landscaping including mature trees (Figure 5). To place the pool and proposed patio in the front yard would require the removal of several mature trees and would detract from the existing streetscape. In addition, the proposed pool and patio are to be located in an area currently occupied by an existing deck. By utilizing a location that is currently developed the removal of vegetation is not required. Furthermore, a planting plan for the remainder of the waterfront yard has been prepared (Figure 6). The planting plan will assist in keeping the unique character of the area.

It is our opinion that the proposal does take into account the unique characteristics of the subject land.

Figure 5: Picture of front yard of subject land



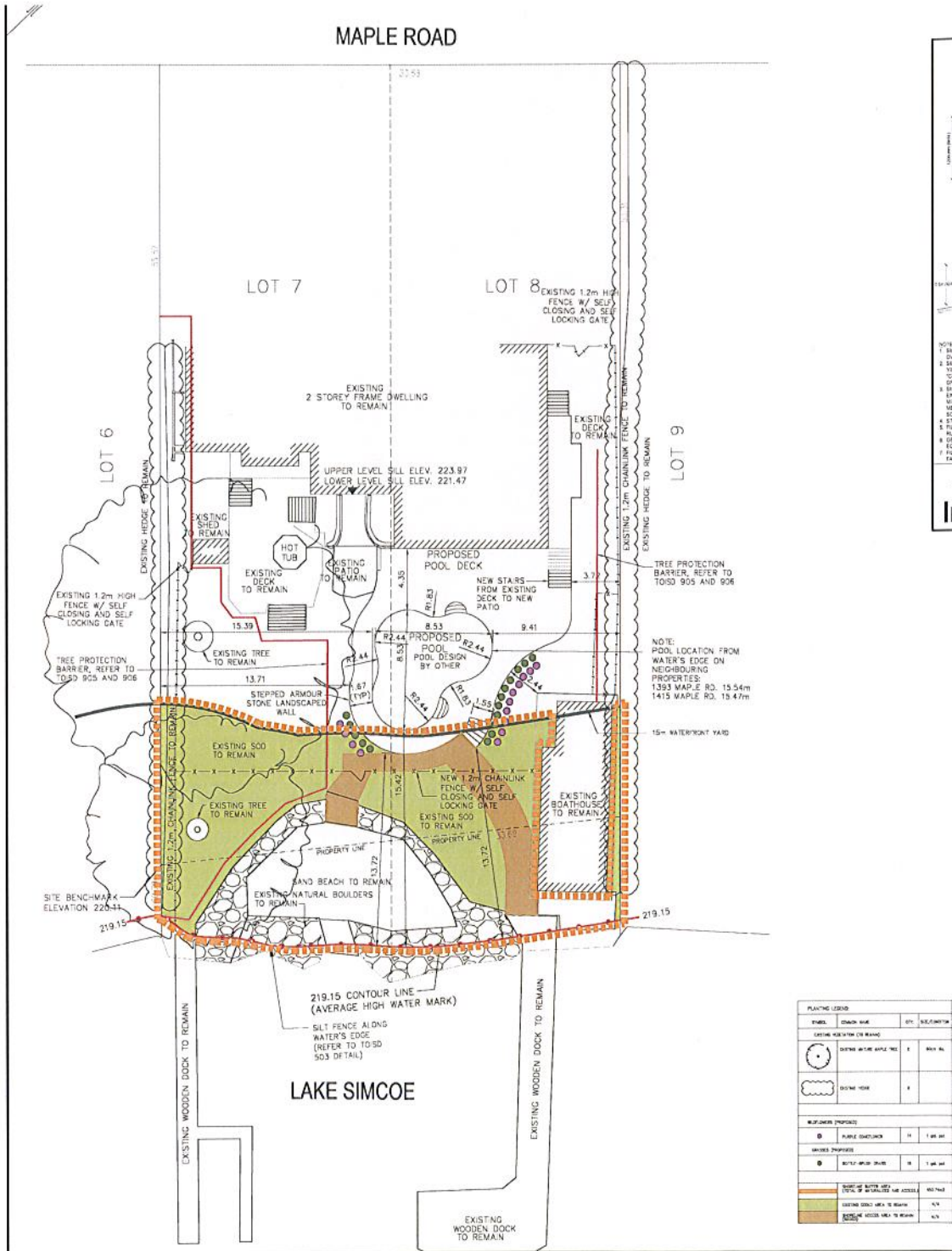
5.3 *Any potential off-site impacts are identified and mitigated.*

The adjacent properties to the subject land are both residential. The proposed pool meets the required side yard setback as outlined in the By-law.

The patio is proposed to be built with a northerly side yard setback of 3.72m, whereas the minimum in the by-law is 4m. This is equal to a 7% reduction in the required setback. There is a mature cedar hedge between the subject land and neighbouring property to the north (Figure 2 and 4 above). The cedar hedge is not to be removed. Further, tree protection fencing is to be installed along this lot line as shown in Figure 6.

Therefore, we do not anticipate any off-site impacts from the proposed variations.

Figure 6: Proposed planting plan for waterfront yard:



- NOTES
1. SEE DCP
  2. SEE V&E
  3. SEE DMS
  4. SEE M&M
  5. SEE S&I
  6. SEE R&N
  7. SEE F&E
  8. SEE F&E

PLANTING LEGEND			
SYMBOL	COMMON NAME	QTY	REPLACEMENT
EXISTING VEGETATION (ON DRAWING)			
(Symbol)	EXISTING MATURE BARE TREE	1	REPL. ALL
(Symbol)	EXISTING TREE	1	REPL. ALL
NEW PLANTING (PROPOSED)			
(Symbol)	PLANT SPECIFICATION	11	1.0m x 1.0m
(Symbol)	PLANT SPECIFICATION	11	1.0m x 1.0m
SHRUBS PROPOSED			
(Symbol)	PLANT SPECIFICATION	11	1.0m x 1.0m
OTHER PLANTING			
(Symbol)	PLANT SPECIFICATION	11	1.0m x 1.0m
(Symbol)	PLANT SPECIFICATION	11	1.0m x 1.0m

5.4 *The proposal shall maintain the general intent of the By-law.*

The general intent of the By-law is to allow for single family dwellings with accessory uses, buildings and structures while maintaining the ecological health of Lake Simcoe.

The existing dwelling does not meet the required 30m waterfront yard set forth in the By-law. Therefore, it would not be possible to achieve the required waterfront yard setback for the proposed pool. The patio wraps around the pool to ensure pool safety and access. At the closest point to the waterfront line the width of the patio from the pool edge is 1.7m which is appropriate for accessible access.

Given the interior design of the dwelling, it is not reasonable to have the pool and patio in the front yard. In addition, if the pool and patio were proposed in the front yard, a variation to the minimum landscape open space within the front yard (60%) would be required. Currently the subject land does not meet the required minimum landscape open space within the front yard of 60% (existing 34.1%). In locating the pool and patio in the front yard the existing landscape area of 34.1% would be reduced.

The applicant is also proposing a planting plan for the waterfront yard (Figure 6) that will increase the naturalization of the waterfront yard and in turn will improve the ecological health of Lake Simcoe.

It is therefore our opinion that the proposed variations meet the general intent of the By-law.

5.5 *The proposal shall maintain the general intent of the Official Plan?*

According to Schedule B12 of the Town of Innisfil's Official Plan the subject land is designated Shoreline Residential. The land use designation permits single family dwellings and accessory uses, buildings, and structures.

As the proposed pool and patio are accessory uses and structures to the existing single family dwelling, it is our opinion that the proposed variations meet the general intent of the Town's Official plan.

5.6 *The proposal is consistent with the Provincial Policy Statement and is consistent with all applicable provincial plans and policies, including the Lake Simcoe protection Plan (LSPP) and any other provincial plan, policy or document, the provisions that give the greatest protection to the ecological health of the Lake Simcoe watershed will prevail.*

The *Provincial Policy Statement (PPS)* provides policy direction on matters of provincial interest related to land use planning and development. In addition, the *PPS* provides for

appropriate development while protecting resources of provincial interest, public health and safety, and the quality of the natural environment.

We have reviewed the Provincial Policy Statement as it pertains to the proposed development and have determined there are no matters of provincial interest in regards to this development.

According to the Lake Simcoe Protection Plan Policy 6.4-DP provides "*Subject to the other policies in this Plan, structures shall only be permitted in a vegetation protection zone along Lake Simcoe shoreline if:*

- a) There is no alternative but to place the structure in this area and the area occupied by such structure is minimized;*
- b) The ecological function of the vegetation protection zone is maintained; and*
- c) Pervious materials and designs are used to the extent feasible."*

In response to the above we provide the following:

- a) As noted above there is no alternative location to locate the pool and patio without removing mature vegetation. The pool and patio are to be located in the location of an existing deck. In this regard, the area occupied by the proposed pool and patio will be minimized.
- b) The proposal also includes a planting plan for the remainder of the waterfront yard. As the waterfront yard currently includes manicured lawn and sand beach the inclusion of the naturalized area would increase the ecological function of the vegetation protection zone.
- c) As noted previously the proposed pool and patio will be located in the location of an existing deck. The use of impervious matters is minimized in doing so.

## **6. Conclusion**

Applications for a Council Variation Class 1 Permit and a Staff Variation Class 2 Permit have been submitted by Renaissance Nouveau Design Inc. on behalf of the owner, Ricki Fenwick, of 1401 Maple Road.

The Council Variation Class 1 Permit is seeking relief from the Town's Community Planning Permit By-law to allow for the construction of an in-ground pool. The pool is proposed to be 15.42m from the waterfront lot line. Whereas the by-law requires the pool to be 30m from the waterfront lot line.

The Staff Variation Class 2 Permit is seeking relief from the Town's Community Planning Permit By-law to allow for the construction of a patio around the proposed in-ground pool. The patio is proposed to be 13.72m from the waterfront lot line and 3.72m



from the northerly interior lot line, whereas the by-law requires the patio to be 15m from the waterfront lot line and 4m from the north interior lot line.

The applications include our planning justification report, site plan/grading plan and landscape plan.

In our planning justification report, we have reviewed the Provincial Policy Statement, Lake Simcoe Protection Plan, Town's Official Plan and the Town's Community Planning Permit By-law.


According to the Section 1.9 of the Town's Community Planning Permit By-law, variations to the By-law must be assessed against six criteria. Our review and assessment of the six criteria are provided in Section 5 of our report.

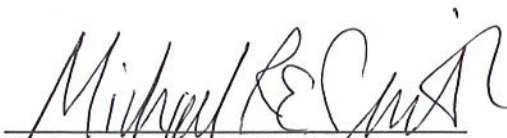
In our review and assessment of the six criteria, it is our opinion that the requested variations: 1) Are appropriate for the subject land; 2) Take into account the unique characteristics of the property; 3) Do not propose any off-site impacts; 4) Maintain the general intent of the By-law; 5) Maintain the general intent of the official plan; and, 6) Are consistent with the Province Policy Statement and the Lake Simcoe Protection Plan.

In addition, it is our opinion that the requested variations represent good planning and is in the public interest.

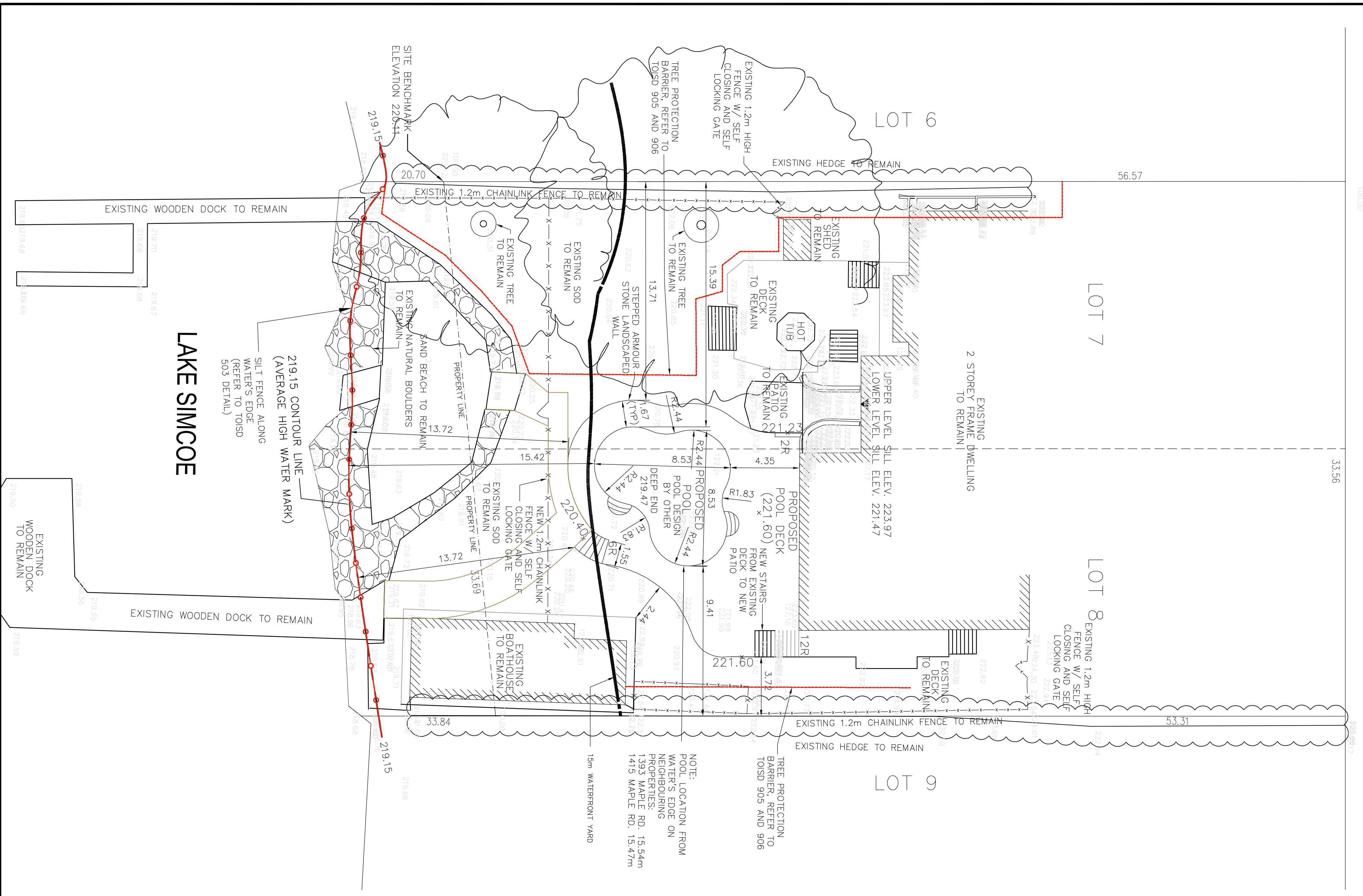
Prepared by:

Approved by:

  
Gord Mahoney, Senior Planner

  
Michael Smith, MCIP, RPP.  
Principal

# MAPLE ROAD



NOTE:  
POOL LOCATION FROM  
WATERS EDGE ON  
PROPERTY LINE  
1393 MAPLE RD. 15.54m  
1415 MAPLE RD. 15.47m  
15m WATERFRONT YARD

**PROPOSED SITE STAT. (FOR POOL):**

PROPERTY DETAILS	REQUIRED (STANDARD)	REQUIRED (CLASS 1)	PROPOSED
LOT AREA			2078.71 m <sup>2</sup>
WATERFRONT YARD SETBACK (MIN.)	30.0 m	(-50%)= 15.0 m	15.42 m
INT. SIDE YARD SETBACK (MIN.)	3.0 m	(-50%)= 1.5 m	15.39m & 9.41m
POOL COVERAGE		(+50%)= 20%	23%
TOTAL LOT COVERAGE (MAX.)			23%

PROPOSED ZONING FOR POOL IN ACCORDANCE WITH TABLE 5.2.6 UNDER A CLASS 1 PERMIT.

**PROPOSED SITE STAT. (FOR PATIO SURROUNDING POOL):**

PROPERTY DETAILS	REQUIRED (STANDARD)	REQUIRED (CLASS 1)	PROPOSED
LOT AREA			2078.71 m <sup>2</sup>
WATERFRONT YARD SETBACK (MIN.)	15.0 m	(-20%)= 10.5 m	13.72 m
INT. SIDE YARD SETBACK (MIN.)	4.0 m	(-50%)= 2.0 m	13.71m & 3.72m
PATIO COVERAGE (INCLUDES POOL)			177.83 m <sup>2</sup>
TOTAL LOT COVERAGE (MAX.)			8.9%
UNDESIGNED OPEN SPACE			67.94%
LANDSCAPED OPEN SPACE			60%
LANDSCAPED OPEN SPACE (OF FRONT & EXIST. YARD)			34.10%
VEGETATED AREA (MAX)	75%	65%	N/A
ACCESS AREA (MAX)	25%	35%	N/A

PATIO IN ACCORDANCE WITH TABLE 5.1.2(b) FOR LOTS OUTSIDE SETTLEMENT AREA IN SHORELINE BY-LAW.

NOTE: ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED ARE IN METERS. STANDARD SPECIFICATIONS AND DIMENSIONS (TOSD).  
 A. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.  
 B. ORDER OF PRECEDENCE OF STANDARD DRAWINGS IS FIRSTY, TOSH, AND SECONDLY, ONTARIO PROVISIONAL STANDARD DRAWINGS (OSD).  
 C. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.  
 D. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.  
 E. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.  
 F. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.  
 G. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.  
 H. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.  
 I. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.  
 J. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.

**SEPT. 24, 2020**

**GORD FENWICK**  
 20 miles road (unit 1) Toronto, Ont. L4M 6H4  
 TEL: (705) 733-8151  
 FAX: (705) 733-8151  
 WEBSITE: www.gordfenwick.com

Project: 1401 MAPLE ROAD  
 INNSFILL, ON

Client: GORD FENWICK

Sheet Title: GRADING PLAN

Scale: 1:150

Registered Plan No. C202016-NS

Registered Plan No. G1

**REVISIONS**

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	27/09/20
2	ISSUED FOR CONSTRUCTION	24/09/20
3	ISSUED FOR CONSTRUCTION	24/09/20
4	ISSUED FOR CONSTRUCTION	24/09/20
5	ISSUED FOR CONSTRUCTION	24/09/20

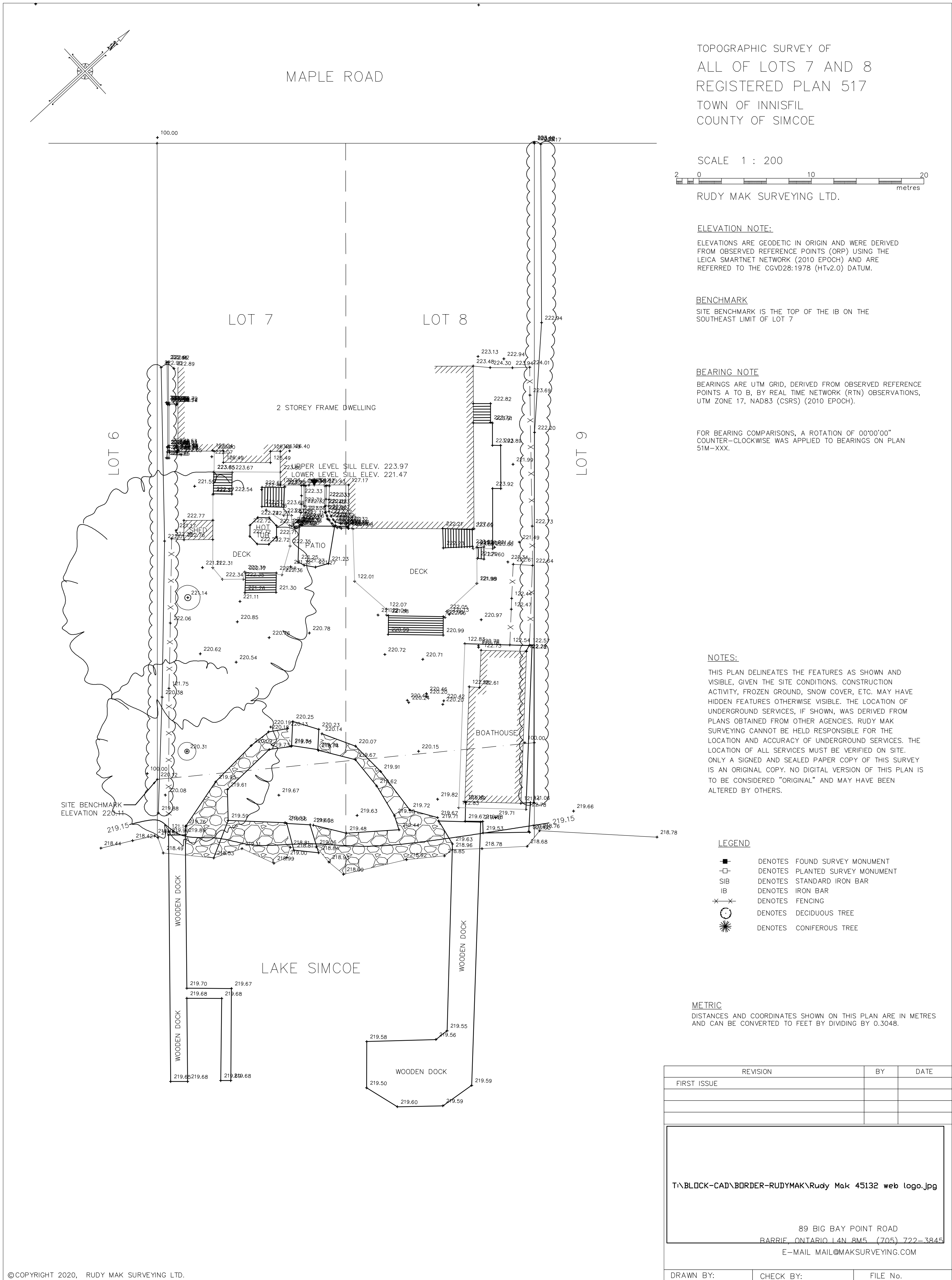
Checked By: JY  
 Date: 27/09/20

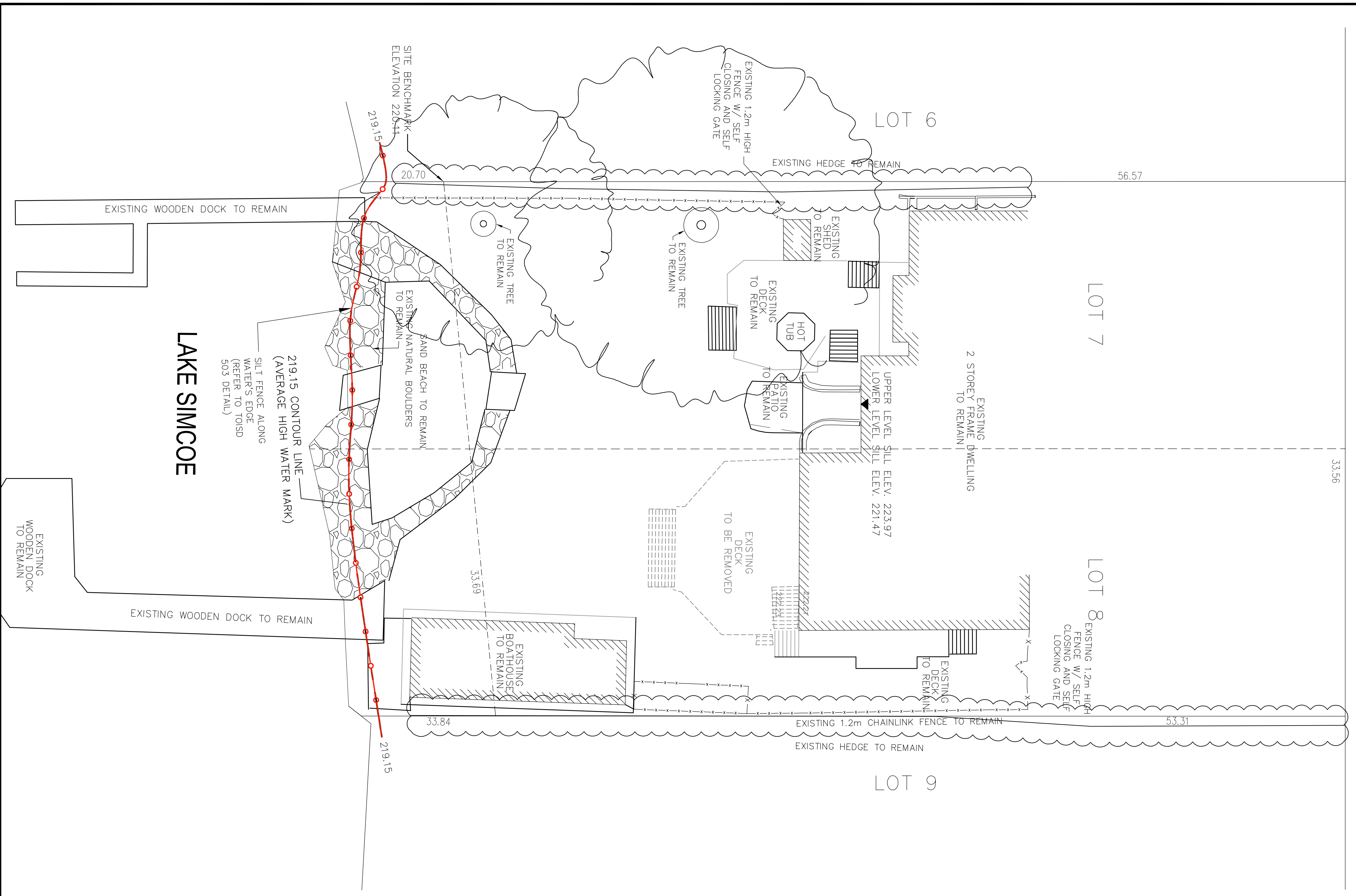
Scale: 1:150

Registered Plan No. C202016-NS

Registered Plan No. G1







LAKE SIMCOE

219.15 CONTOUR LINE  
(AVERAGE HIGH WATER MARK)  
SILT FENCE ALONG  
WATER'S EDGE  
(REFER TO T05D  
503 DETAIL)

**SEPT. 24, 2020**

20 mile road (unit 2) home, ext. L&N 6th  
 TEL: (726) 733-8851  
 FAX: (726) 733-8851  
 WATTS: 1-800-887-4507

**Engineering**  
 GORD FENWICK  
 Professional Engineer  
 No. 10001  
 2000 Lakeshore Blvd. W. Unit 100  
 Toronto, ON M6K 3L7

**Design**  
 JY  
 202016-NS

**Client**  
 GORD FENWICK  
 1401 MAPLE ROAD  
 INNSFILL, ON

**Project**  
 1401 MAPLE ROAD  
 INNSFILL, ON

**Date**  
 AUGUST 17, 2020

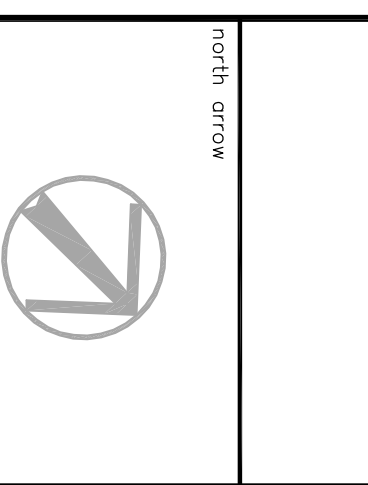
**These drawings are not to be scaled**  
 unless otherwise indicated.

NO.	DESCRIPTION	DATE	BY
1	Issued for client review	27/08/20	JY
2	Issued for town permit	24/09/20	JY
3	Issued date of permit	14/09/20	JY
4	Iss. for site/soil permit	24/09/20	JY
5	Sheet title		

DEMOLITION PLAN  
 Scale: 1:150  
 Registered plan no. C202016-NS  
 Map / Lot # D1

**GENERAL NOTES:**

1. Verify all existing grades prior to construction.
2. All work shall be done in accordance with the Ontario Building Code and all applicable municipal by-laws.
3. All work shall be done in accordance with the Ontario Building Code and all applicable municipal by-laws.
4. All work shall be done in accordance with the Ontario Building Code and all applicable municipal by-laws.
5. All work shall be done in accordance with the Ontario Building Code and all applicable municipal by-laws.



**GORD FENWICK**  
 1401 MAPLE ROAD  
 INNSFILL, ON

**Project**  
 1401 MAPLE ROAD  
 INNSFILL, ON

**Date**  
 AUGUST 17, 2020

**These drawings are not to be scaled**  
 unless otherwise indicated.

NO.	DESCRIPTION	DATE	BY
1	Issued for client review	27/08/20	JY
2	Issued for town permit	24/09/20	JY
3	Issued date of permit	14/09/20	JY
4	Iss. for site/soil permit	24/09/20	JY
5	Sheet title		

DEMOLITION PLAN  
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