



SHORELINE PERMIT APPLICATION

The undersigned hereby applies to the Town of Innisfil to consider this Community Planning Permit Application pursuant to Section 34 of the Planning Act, R.S.O. 1990, as amended and O. Reg. 173/16.

FOR OFFICE USE ONLY		
Shoreline Permit #:		Date Received:
LSRCA fees collected: <input type="checkbox"/> Yes <input type="checkbox"/> No		Receipt #:
<input type="checkbox"/> Class 3 (Standard) (Conforms to CPPS By-law)	<input checked="" type="checkbox"/> Class 2 Permit (Staff Variation)	<input type="checkbox"/> Class 1 Permit (Council Variation)

1. LOCATION OF SUBJECT LANDS	
Municipal Address:	2825 Purvis St, Innisfil
Town Lot and Concession Number:	
Registered Plan and Lot/Block Number:	plan 697 LOT 16
Reference Plan and Part Numbers:	
2. APPLICANT INFORMATION:	
Name:	[REDACTED]
Address:	[REDACTED]
City/Town:	[REDACTED]
Telephone:	[REDACTED]
3. OWNER INFORMATION: <input type="checkbox"/> Same as Applicant	
Name:	[REDACTED]
Address:	[REDACTED]
City/Town:	[REDACTED]
Telephone:	[REDACTED]
4. PURPOSE OF APPLICATION:	
Description of proposed work (please include a detailed description including any proposed new structures or removal of structures, landscape changes, waterfront impacts, etc.):	
Demolish existing dwelling, and rebuild new dwelling	

5. PROPERTY DIMENSIONS:

Lot Frontage: 38.10 m Lot Depth: 53 m Lot Area: 1,763.9 m²

Area of Work (m²): 441.3 m²

6. IS A VARIANCE BEING REQUESTED WITHIN THE PROVISIONS SET OUT IN THE COMMUNITY PLANNING PERMIT BY-LAW?

Yes No
If Yes, please provide a brief description and rationale for the variance:

7. ARE YOU PROPOSING TO CONSTRUCT ANY IN-WATER STRUCTURES? (i.e. Boathouse, Permanent Dock, Breakwaters)

Yes No
If yes, please provide a brief description of the proposed in-water structures:
See Shoreline Permit for boat house

8. ACCESS & SERVICING

Property Access: By a Public Road By a Private Road Other:

Property Storm Drainage: Sewers Ditches Swales Other:

Water Service Type: Publicly owned Privately owned Other:

Sanitary Sewer Service Type: Septic System Privy Other:

Easements: Yes No
If Yes, please provide a description:

9. HAS THE LAND EVER BEEN THE SUBJECT OF AN APPLICATION UNDER THE ACT FOR: Yes No If yes, please complete the below:

Check all applicable boxes and provide file number if applicable:

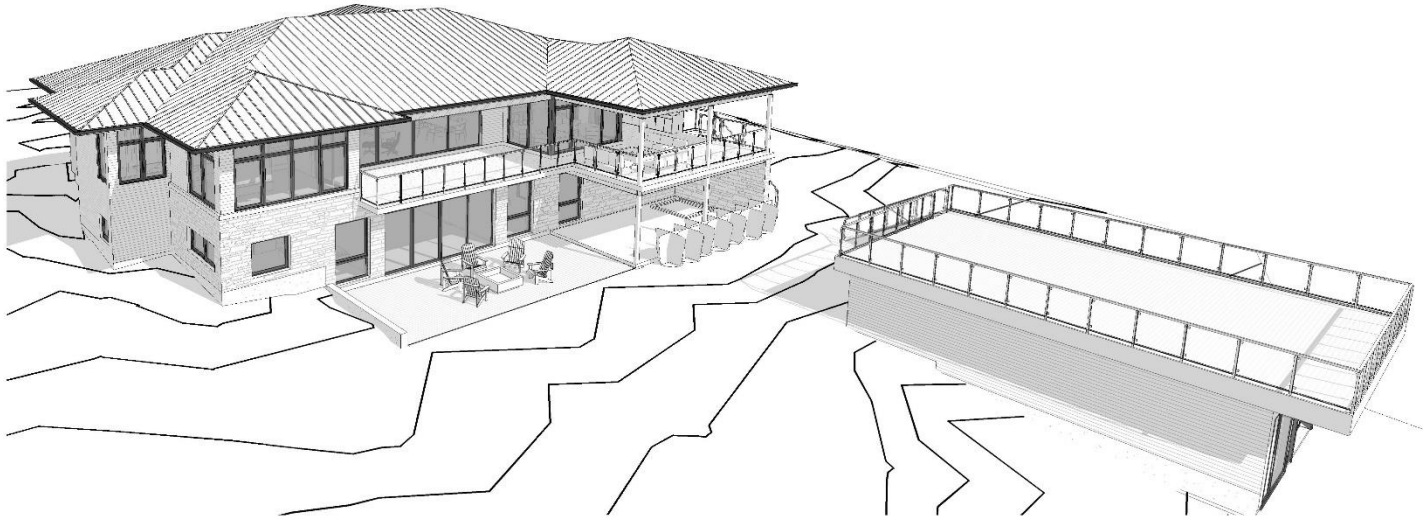
Plan of Subdivision (File Number: _____ Status: _____)
 Zoning Amendment (File Number: _____ Status: _____)
 Site Plan Control (File Number: _____ Status: _____)
 Minor Variance (File Number: _____ Status: _____)
 Consent/Severance (File Number: _____ Status: _____)
 Other:

10. HAVE YOU HAD ANY CONSULTATIONS WITH ANY DEPARTMENTS OR EXTERNAL AGENCIES? Yes No If yes, please complete the below:

Check all applicable boxes and provide file number if applicable:

Town of Innisfil staff
 Lake Simcoe Region Conservation Authority (LSRCA)
 Ministry of Natural Resources and Forestry
 Fisheries and Oceans Canada
 Transport Canada

PLANNING JUSTIFICATION REPORT PURVIS HOUSE, 2825 PURVIS STREET, INNISFIL



Courtesy LM Building Design

MAY 2021

MUNICIPAL FILE: SL-2021-009 2825 Purvis

OUR FILE: LA 556-21

PREPARED BY:



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1.0 INTRODUCTION:

The Landmark Environmental Group Ltd. (LEGroup) is retained by LM Building Design (hereafter referred to as the Owner's authorized representative) on behalf of L. & D. McLaven, to provide a Planning Justification Report in support of an amendment to the Community Planning (Shoreline) Permit By-law 062-17 for a residential development located at 2825 Purvis Street in Innisfil, ON.

The purpose of this Report is to request an amendment to the Community Planning Permit By-law under a Class 1 and Class 2 Permit to permit a maximum lot coverage of 29.8% for a new dwelling, garage, deck and new boathouse. The lot coverage and boathouse are legal non-complying with the Shoreline By-law standards and there are a number of existing lots in the vicinity that have similar status. The Report also recognizes a request for a variance for a 7.96m length of the proposed boathouse which exceeds the permitted length of 7.0m set out in the By-law standard.

This Report reviews and examines the site context, subject lands and information for the Town's consideration related to the Class 1 and Class 2 Permit regarding the proposed site development. Our Report concludes that given the existing lot coverage (including boathouse) together are already over the standard set out in the Shoreline By-law, similar existing coverage in area residential lots and the small increase in the proposed lot coverage from the existing lot of record, that the proposed lot coverage is appropriate and provides sufficient tree retention/buffering to accommodate the development.

2.0 SUBJECT SITE AND ADJACENT LAND USES:

The subject site is a somewhat square-shaped waterfront property, generally located east of the 25th Sideroad and north of the 10th Line. The site is legally described as Lot 16, Registered Plan 697 in the geographic Township of Innisfil, now Town of Innisfil and municipally known as 2825 Purvis Street in the Town of Innisfil (see Figure 1 below).

The lands comprise approximately 1766m² with a waterfront frontage of 29.65m and Purvis Street frontage of 38.1m (see existing site statistics below). The site is located within the Shoreline Residential Area as Leonards Beach Shoreline (Schedule B14) in the Innisfil Official Plan and in the Zoned CPPS Shoreline Permit Area (Schedule 44) as part of the Community Planning Permit By-law 062-17.

The site is located in a neighbourhood where residential uses predominate. The following are the land uses that surround the subject site:

- North-Purvis Street and undeveloped residential land use (Zoned R1) beyond;
- East-2835 Purvis Street residential land use (Zoned CPPS);
- South-Lake Simcoe;
- West-2817 Purvis Street residential land use (Zoned CPPS).

The subject lot appears relatively larger than many lots along the shoreline however, does not comply with the Shoreline Permit Area standards as shown below.

Below is a key map, showing the location of the subject site and adjacent lot fabric:



Figure 1. Overhead map of Subject Site (property lines orange highlight) & surrounding area (Courtesy Simcoe County GIS)

3.0 PROPOSED DEVELOPMENT AND SITE STATISTICS:

A single family dwelling with an exterior attached deck and boathouse are existing on the subject property (see **Preliminary Siting Plan, Appendix A** and **Airphoto, Appendix B**, below). The owners wish to demolish the existing structures and rebuild a new single-family dwelling with new attached deck and enlarged boathouse. The existing development is considered legal non-complying to the Town's Community Planning Permit By-law (CPPS) (Section 2.3) since it doesn't comply with Section 4.17 and a residential re-development will require an amendment to the CPPS By-law.

In addition, the development is subject to a Class 1 Permit Variance for increased lot coverage (Section 5.5.1 b)/enlarged boathouse (Section 5.2.2) and a Class 2 Permit is required for site alteration (Section 5.5) including vegetation removal/revegetation, grading and new shoreline vegetative buffering (Section 4.23).

The purpose of the proposed amendment to the CPPS By-law is to facilitate the proposed lot coverage and proposed enlargement of the boathouse.

The standard for development located outside of the settlement area with lots under 7,900m² is set out in the CPPS Table 5.1.2 b) as follows:

	STANDARD (m)	EXISTING/PROPOSED (m)
Lot Area (minimum)	5260m ²	1766.5m ² (existing lot of record)
Lot Frontage (minimum)	45.0m	38.1m (existing)
Waterlot Frontage (minimum)	40.0m	29.65m (existing)
Waterfront Yard setback (minimum)	30.0m dwelling 15.0m deck	20.43m dwelling (proposed) 16.02m patio (proposed)
Interior Side Yard minimum (Attached garage with doors facing interior sideyard)	10.0m	6.0m (proposed)
Attached Deck	4.0m	4.81m (proposed)
Interior Side Yard (Dwelling)	6.0m	3.0m (proposed)
Front Yard (minimum)	15.0m dwelling 12.0m at garage	17.1m (proposed) 6.0m (proposed)
Lot Coverage (%) (maximum)	15%	14.0% (Existing Dwelling) 2.5% (Existing Boathouse) 16.5% (Total Existing Coverage) 16.7% (Proposed Dwelling) 4.7% (Proposed Boathouse) 5.0% (Proposed Garage) 3.3% (Proposed Patio) 29.8% (Total Proposed Coverage)
Maximum Building Height	11.0m	7.78m (proposed)

Table 1 Standard, Existing and Proposed Site Statistics

As shown in the Table above, the existing lot area, frontage, lot coverage lot water frontage are considered legal non-complying, and fall short of the CPPS standards. The lot area standard for lots outside of settlement areas (for lot areas under 7900m²) is 5260m² however, the existing lot is 1766.5m². The lot frontage standard is 45.0m whereas the existing lot has a frontage of 38.1m (among the larger frontages in the neighbourhood). The waterlot frontage is required under the standard to be 40.0m, however, the existing frontage is 29.65m.

In addition, the following table sets out the boathouse statistics for the CPPS standards in comparison with the existing boathouse and proposed expansion (see **Siting Plan, Appendix A**).

Boathouse (15<45m On Land) Class 1 Permit			
	Maximum	Existing	Proposed
Height	3.6m	unknown	3.51m
Width	7.0m	4.99m	7.96m
Length	12.0m	8.83m	10.41m
Projection	1.0m	0.00m	0.00m
Sideyard Setback	5.0m	2.51m	2.07m
Coverage	Included in lot coverage above	2.5%	4.7%

Table 2. Boathouse Standard, Existing and Proposed Site Statistics

The boathouse standard height is 3.6m whereas the and proposed height is 3.51m and is considered within compliance. The width of the CPPS standard is 7.0m whereas the width of the existing boathouse is 8.83m and requested to expand to 7.96m which will require a Council variance. The length of the standard boathouse as required by the By-law is 12.0m whereas the proposed length is 10.41m and is considered in compliance with the By-law standard. The approved projection for an on-land boathouse into Lake Simcoe is 1.0 metre whereas no projection of the boathouse is proposed. The maximum sideyard setback in the CPPS standard is 5.0m whereas the existing sideyard setback is 2.51m and proposed to be 2.07m with the proposed boathouse. The floor area of the boathouse is proposed to increase from 44m² to 82.9m². The

standard number of boatlifts is one and only one is proposed.

There is no separated proposed coverage for the boathouse, as it is usually included in the overall Lot Coverage, however, the existing lot coverage for the boathouse is 2.5% of the lot area and the proposed enlargement of the boathouse is proposed at 4.7% of the lot area. The boathouse enlargement is discussed further, in Section 3.1.2 below.

3.1 Class 1 Variation Permit Summary

Class 1 Permit Variations are required to approve a legal non-complying expansion to a proposed lot coverage variance and expansion for a legal non-complying boathouse which are considered by Council, as set out below.

3.1.1 Lot Coverage

Lot coverage is defined in the By-law as the sum of the area of all building and structures divided by the lot area, expressed as a percentage. Lot coverage excludes at-grade recreational uses but does include above-ground decks. Section 5.1.2 b) of CPPS requires that all requests for increase of lot coverage are a Council variation and at Council's discretion.

The existing lot coverage is 16.5% (lot size is 1766.5m²) whereas the CPPS By-law requires a lot coverage of 15% based on a lot size of under 7900m². The existing dwelling area is 245.3m² or 14% and is proposed to be expanded by 49m² or 2.7% to 294.3m² (total 16.7% of the total lot coverage). The new garage is proposed to have an area of 90m² or 5% of the total lot coverage while the above-ground patio is proposed to be an area of 57.7m² or 3.3% of the lot coverage. The existing boathouse is 44m² or 2.5% of the lot coverage while the proposed expansion increases the footprint to 82.9m² or 4.7%, an increase of only 2.2%.

There is a small lot frontage of 45.0m (Purvis Street) and 40.0m (shoreline frontage) required in the CPPS standard whereas the subject lot has smaller frontages of 38.1m and 29.65m respectively. Combined with a small lot area noted above, it is more stringent to meet the lot coverage required percentages of the CPPS.

In addition, in context with the neighbouring lots, the subject site is larger than many of the lots relative to the immediate area but not in relative to the CPPS standard.

Further, the proposed enlarged dwelling will have a gross building area (GBA) of 534m² resulting in a lot coverage of 29.8%. A lot coverage calculation of homes in the vicinity shows that for a similar lot area, there are a number of lots which have a higher coverage (over 30%) than the subject lot (see **Lot Coverage Calculation, Appendix E**). Therefore, the proposed coverage of 29.8% will provide a suitable fit into the neighbourhood lot fabric.

In addition to the request for an enlarged coverage, there is an existing significant landscape buffer component on the site which is expected to be enhanced by additional compensation trees, and shoreline landscaping, as noted in Section 3.2 below.

The effect of the amendment is to permit an increased lot coverage, expressed as a percent, as provided above.

3.1.2 Boathouse

The existing boathouse is legal non-complying with the CPPS in its width, length and sideyard setback. The proposed enlarged boathouse is a discretionary use in the shoreline buffer area and are subject to a Class 1 Variation Permit. Council can approve a variance up to a 50% increase (Section 5.2.2). The new boathouse is proposed to expand by 38.9m² which is a 46.9% increase from the existing area.

As noted above, the existing boathouse sideyard setback is legal non-complying whereby the CPPS requires a setback of 5.0m and the existing sideyard setback is at 2.51m and the new setback has a proposed sideyard setback of 2.07m, which is a decrease of .44m (17%).

The proposed expanded on-land boathouse will not project into the Lake Simcoe shoreline according to the building design although the existing retaining/breakwall and concrete deck are expected to remain in-situ (see **Photo A, Appendix F**). There is only one existing boat lift and is expected to remain or replaced with a new one, complying with Section 5.2.3.

The boathouse proposed height is 3.51m from finished floor to roof which is less than the maximum of 3.6m. The boathouse is designed to hold a rooftop deck for amenity with glass barrier safety railing (see proposed Front, Rear, East and West Elevations in **Appendix D**).

The effect of the amendment is to permit a new enlarged boathouse, increased by 46.9% from the existing to be situated at the Lake Simcoe shoreline.

3.2 Class 2 Permit Variation Summary

Under the CPPS, lot sizing/setback standards, site alteration and shoreline buffering adjustments are subject to Town staff review and approvals, however, a summary of Class 2 Permit Variation requests are offered below:

Town staff are considering a number of Class 2 Variations including garage setback of 6.0m (whereas the CPPS requires 10.0m) and dwelling sideyard setback (CPPS requires 6m whereas the south sideyard setback is 3.0m).

With regard to site alteration and shoreline buffering, an Arborist Report, Tree Inventory/Preservation Plan, Tree Compensation Plan and Shoreline Restoration Plan (see **Appendix C**) was completed and submitted by JDB Associates on April 14/20. In summary:

- Thirty-three (33) trees inventoried on subject site, seven (7) are in conflict with the development and proposed to be removed while the remaining trees can be protected comprising of trees and cedar hedges. Fourteen (14) trees are proposed to be planted in compensation for the tree removals;
- Twenty-two (22) trees inventoried on the shared boundary/adjacent properties are to be protected to the greatest extent with tree preservation fencing;
- Grading plan has been provided including two sideyard swales provided on the north and south sides of the property to conduct stormwater, but also respecting on-site and off-site tree root preservation zones;
- Shoreline buffer area of 15.0m setback from the shoreline is provided as per Section 4.23.2. Within the buffer area, a shoreline restoration plan is prepared as per Section 4.23 CPPS, providing a Tree Preservation Naturalized Zone and Restoration Planting Area of 75% in accordance with the CPPS;
- Significant buffering is set to be preserved along the Purvis Street frontage (see **Photo B, Appendix F**) and along common property boundaries with 2817 & 2835 Purvis Street. Significant increase in shoreline buffer planting and compensation trees provide additional vegetation density.

4.0 DEVELOPMENT ANALYSIS

An application is submitted for an amendment to the CPPS By-law to facilitate a proposed increase to the lot coverage for a proposed new residential dwelling and expansion of an existing boathouse on the subject

site which are in excess of what is permitted in the By-law. This Section below will provide an analysis on the merits of the proposed requested increases.

Section 1.9 of the CPPS sets out where a Class 1 or Class 2 Planning Permit is required, in addition to following the guiding principles of the By-law, the following criteria shall be addressed to the satisfaction of the Town prior to issuing of the Planning Permit.

4.1 Is the proposal appropriate for the lands?

The proposed residential lot re-development (new dwelling, garage, raised deck and expanded boathouse) is designed to blend the built form with the natural features that are existing on the property with no impact on Lake Simcoe and its shoreline. Proposed lot disturbance will accommodate an increased lot coverage of only 29.8% in keeping with other existing residential developments in the neighbourhood.

The proposed on-land boathouse expansion will increase its building footprint only 38.9m² (2.2% increase) but with a 0.00m projection into Lake Simcoe, will provide no negative affect to shoreline processes and fish habitat. The additional buffering along the side yards and projected height of only 3.51m will provide a continued low profile, reduced visual dominance of the shoreline and add on-site amenity space.

The grading and landscaping plans as a result of the proposed development, together help to further reduce the impact of stormwater runoff from the site into Lake Simcoe. Tree preservation fencing will protect existing vegetation and siltation fencing will protect the Lake from and resulting soil displacement that may be a result of disturbance. Additional native and indigenous landscape planting will be introduced into a current manicured lakeside treatment as a result of the approval of this application, which will further enhance the naturalized shoreline buffer.

A culmination of a small waterfront frontage, protection of existing trees, introduction of new naturalized landscape buffer along with a low-profile boathouse represent a unique treatment to the current site. The proposed increased on a legal non-complying lot coverage and boathouse expansion can be managed within the principles of the CPPS by-law and in our professional opinion, we consider appropriate for the lands.

4.2 Does the proposal take into account the unique characteristics of the property?

As noted above, the subject lot is larger within the context and compared to other lots within the adjacent neighbourhood. Uniquely, and fortunately, this lot has a high tree density and coverage with many larger trees intended to be preserved as well as existing boundary trees to be protected to buffer between the existing lots.

The site development can achieve an appropriate residence setback for Class 2 Variation Permit and the associated waterfront naturalized revegetation. With a smaller waterside frontage, the proposed built form is limited in scale and will have no notable impact on the natural flow of the lakefront nor harmfully interfere with existing fish habitat.

The proposed development on the subject lands takes into account the unique characteristics of the property while following the guiding principles of the By-law. In our professional opinion, the proposed development can accommodate the proposed larger lot coverage and enlargement of the boathouse with minimal visual impact on the neighbouring properties and Lake Simcoe.

4.3 Are there any potential for off-site impacts that are identified and mitigated?

Since the subject lands are located within a collection of shorelines of residential waterfront lots, there are no significant impacts on the neighbourhood that are increased as a result of the proposed development. In addition, as mentioned above, potential offsite impacts have been identified and mitigated including

stormwater management facilities introduced (eg sideyard swales), retention/protection of existing trees, maintain sideyard/front yard vegetation buffering.

In our professional opinion, there are no off-site impacts that are anticipated from the proposed amendment.

4.4 Does the proposal maintain the general intent of this By-law?

The Community Planning Permit By-law 062-17 is in-force along shoreline properties in the Town of Innisfil as designated in the Town of Innisfil Official Plan and tie into the Town's Community Strategic Plan. The subject property is located within the shoreline area and is subject to the Community Planning Permit System (CPPS).

The following four guiding principles as set out in the By-law (Section 1.1.3), will need to have regard when considering the above-mentioned amendment for the subject site:

- *Built Form in Context:*
 - *Development shall be designed and constructed to minimize impacts on the shoreline and Lake Simcoe;*
 - *The blend of built form and natural features shall be compatible with the existing character of the shoreline area, visible from both land and water;*
 - *Disturbance on lots will be limited and minimized and the balance of the property shall generally be left in its natural state*

The proposed residential development has been setback 15m from the shoreline in accordance with the Class 2 Shoreline Permit in order to minimize impacts on the shoreline and Lake Simcoe. Although the proposed boathouse enlargement is proposed to be located at the shoreline all the necessary precautions (eg siltation fencing) are to be in place to minimize any shoreline or fish habitat impacts. The proposed siting appropriately blends the existing built form with existing natural features so as to enhance the visible sight line from Purvis Street, adjacent neighbours and offshore. As shown on the proposed Arborist Report, Arbor Plans and Landscape Plans, the balance of the site will be maintained and enhanced with plant material to keep the property in its naturally vegetated state.

- *Public Realm Connects Us:*
 - *Lake Simcoe exists in the public realm and provides significant ecological and social benefits;*
 - *The desire for private buildings or structures in Lake Simcoe shall be balanced with community use and access to the Lake;*
 - *Public opportunities to enjoy Lake Simcoe including those provided by municipal road ends and publicly owned land shall be protected, established or enhanced*

As noted above, the views of the shoreline into the subject site represent the public realm and every effort to keep the site to appear in its naturally vegetated state will be maintained and augmented. However, since the proposed development is privately held, land use and its access will be restricted to the lot owner.

- *Sustainable Values:*
 - *Safety of people and property from natural hazards such as flooding, ice conditions and wave uprush is a top priority;*
 - *Erosion, runoff and sedimentation control improvements and measures will be used to*

- *ensure development is sensitive to the shoreline;*
- *Proposals shall take into consideration the naturally occurring shoreline in the area and the development shall be designed to be compatible with these characteristics;*
- *Access, infrastructure and servicing of the subject property shall be provided in the most sustainable method for shoreline tertiary sewer treatment may be required;*

The proposed residential development, subject to this Amendment, will not incur increased injury or property loss from natural hazards from Lake Simcoe. Erosion, runoff and sedimentation measures will be in place upon approval of this Amendment, prior to any development of the lot so as to protect the Lake Simcoe shoreline. The existing shoreline is expected to be maintained as is currently so as to maintain property protection. The proposed boathouse enlargement will be constructed in a manner that will reduce property damage from natural forces.

- *Natural Shoreline:*
 - *The shoreline shall be protected or improved and restored;*
 - *Natural vegetation will be substantially maintained along the property boundary lines, the waterfront yard and shoreline;*
 - *Native species will be used for buffers or where vegetation is being improved and restored*

The proposed residential development, garage, raised patio and boathouse will not negatively affect the shoreline but instead, provide additional native tree and shrub planting, providing enhanced soil anchoring along the water's edge. Existing native vegetation will be maintained along both the property boundaries and waterfront yard with additional trees added for lot canopy improvements.

In addition to meeting the four principles noted above, the CPPS also sets out the status of a legal non-complying boathouse as set out above. The following Section 2.3.5 of the By-law sets out:

- *Buildings and structures are considered to be legal non-complying if they were legally established prior to the passing of this By-law but no longer comply with the new provisions of this By-law. This By-law does not prevent the continued use, alteration or expansion of legally existing building and structures that no longer comply with this By-law (Section 2.3.5)*

In addition, the By-law sets out permissible variations to the standards as follows (Section 2.13 + 2.14)

- *Variations to the standards in this By-law may be permitted where identified. Where variations are not identified and the standards cannot be met, and amendment to this By-law is required (S. 2.13).*
- *Where a proposal is beyond permissible standards, including any stated variations thereto, and permitted and discretionary uses, an amendment to this By-law will be required. An amendment can be initiated by the Town or by a private landowner. Any amendment to this By-law must be supported by a comprehensive planning rationale within the context of the planned vision for all the lands with the area subject to this By-law and must provide details of public and community engagement to support the amendment (Section 2.14)*

A number of the standards noted above (eg lot area, lot coverage, etc) are considered legal non-complying and with the proposed development, cannot meet the new By-law standard. As such, an amendment to the By-law is required. The amendment is initiated by the private landowner who wishes to prepare a new dwelling/garage/raised patio/boathouse and the required comprehensive planning rationale is contained in this Report and subject to Council approval. Request to Council for a Class 1 variance is considered to be vetted through a public and community engagement process.

With regard to the proposed new on-land boathouse on a 15 to <45m shoreline, the By-law permits a boathouse of 3.6m in height, a maximum length of 7.0m, a maximum length of 12.0m with a maximum

projection into Lake Simcoe of 1.0m (Section 5.2.2). A proposed boathouse of the proposed dimensions includes a height of 3.51m, width of 7.96m and length of 10.41m-only the width is larger than the By-law standard. Therefore, a Council Class 1 variation is sought for permission to construct a new boathouse and to permit an increase in length to 10.41m. This proposed increase in length is within the required 50% permitted Council variation as set out in the By-law Table 5.2.2.

Based on the information above, it is our professional opinion that the proposed development meets the general intent of the Shoreline By-law, does not negatively alter the shoreline, the development does not provide visual dominance to the shoreline and that development impacts can be mitigated and vegetation restored/enhanced.

4.5 Does the proposal maintain the general intent of the Official Plan?

Section 19 of the Town's Official Plan (Our Place) sets out a number of broad objectives and policies to protect the Lake Simcoe shoreline for hazards related to flooding, erosion, dynamic beaches and its ecological integrity in the midst of development, redevelopment and site alteration. The Official Plan sets out the requirements of standards and procedures to accomplish this protection.

The subject property is located within the Leonard's Beach Shoreline Area (Schedule B14) and set out as Lake Simcoe Shoreline in Schedule A: Municipal Strategy. Section 19.1.3 identifies the lands outside of the settlement areas which are comprised of existing dwellings and the intention maintain its residential and recreational character. In addition, 19.1.6 sets out that *'all development within and adjacent to Lake Simcoe be in conformity with the policies of the Lake Simcoe Protection Plan and subject to approval through the Community Planning Permit System, set out in Section 19.3'*.

Section 19.2 recognizes the function and permitted uses of the Shoreline Residential Area subject to applicable policies and permitted uses. Section 19.3 sets out the goal to protect people and property from natural hazards that exist for shoreline development and an objective to maintain residential/recreational uses, identify expectations of future developments and use vegetative buffers to increase the natural appearance and ecological function of the Lake Simcoe shoreline.

While the Official Plan does not contain any specific development standards, it does provide the policy framework for development that is preserved in the By-law. Since the proposed By-law amendment complies with the requirements of the By-law (as noted above), in our professional opinion, the amendment therefore maintains and does not offend the provisions of the Official Plan.

4.6 Is the proposal consistent with the Provincial Policy Statement and is consistent with all applicable provincial plans and policies, including the Lake Simcoe Protection Plan (LSPP) and any other provincial plan or policy?

New developments in the Province in Ontario must be consistent with the Provincial Policy Statement (PPS) (2020) which are generally set out on a broad level.

- In Section 1.1.1c), the PPS sets out an avoiding development which may cause environmental, public health and safety concerns
- Section 1.6.6.7 planning for stormwater management includes c) minimizing erosion, changes in water balance and preparation for the impacts of climate change through effective stormwater management; d) mitigate risk to human health, safety, property and the environment and e) maximize the extent and function of vegetative and pervious surfaces; and
- Section 2.1 Natural Heritage, protection of features and areas in the long term (2.1.1), diversity and connectivity of natural features and long-term ecological function of natural heritage systems (of

which is Lake Simcoe) and Section 2.2 f) implementing restrictions on development and site alteration to 2) protect, improve or restore ...sensitive surface water features, ground water features and their hydrologic functions.

New development in Ontario is also subject to and be consistent with the policies of the Lake Simcoe Protection Plan. Specifically, Chapter 6.0-DP sets out:

- Prohibited development outside existing settlement areas except where there is little terrain or vegetation modification (Section 6.1-DP);
- minimum vegetation protection zone (6.2-DP);
- structures permitted where the occupation is minimized, ecological function of the vegetation protection zone is maintained and pervious materials and designs are used to the extent feasible (6.4-DP);
- no structures (including boathouses) are permitted if the structure impedes natural flow along the shoreline, streams or alteration of fish habitat (6.8-DP);
- a proposal for alteration or development within 30m of Lake Simcoe may be permitted if it complies with:
 - maintain/increase/improve fish habitat in the Lake or adjacent riparian areas;
 - enhance ecological features and functions associated with the Lake;
 - minimize erosion, sedimentation and utilize planning, design and construction practices that maintain/improve water quality; and
 - integrate landscape and habitat restoration into the design to enhance the ability of native plants and animals to use the area as habitat and a movement corridor (6.11-DP).

Since the existing Town policies and By-law integrate the intent and policies of the Provincial Policy Statement, Places to Grow Growth Plan for the Greater Golden Horseshoe and the Lake Simcoe Protection Plan, it is our professional opinion that the proposed By-law amendment to permit the re-development of the subject site with a new dwelling/garage, raised patio and enlarged boathouse is consistent with and does not offend the all applicable provincial plans.

5.0 Conclusions

Our Report has provided an application for an amendment to the CPPS By-law for lands located at 2825 Purvis Street in Innisfil for a Class 1 and Class 2 Variations. The application has been vetted through applicable sections of the CPPS By-law, Official Plan, Provincial Policy Statement, Lake Simcoe Protection Plan and other applicable provincial policies.

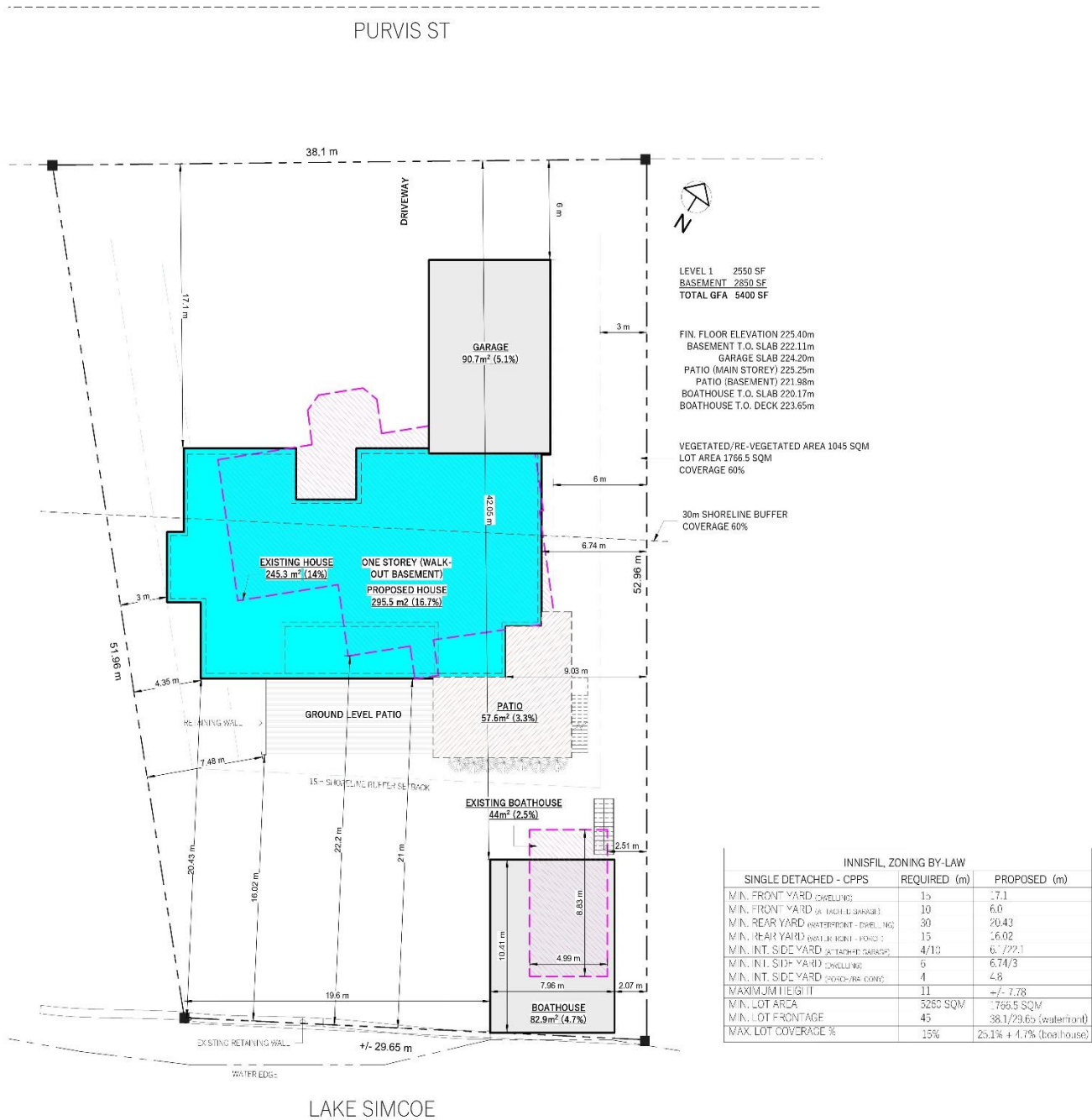
As discussed above, in our professional opinion, the proposed amendment meets the criteria and approval considerations set out in Sections 1.8 and 1.9 of the CPPS By-law and represents good planning.

Prepared by and respectfully submitted:



Jim Hosick MSc(Pl), RPP
Landmark Environmental Group Ltd

Appendix A: Preliminary Siting Plan

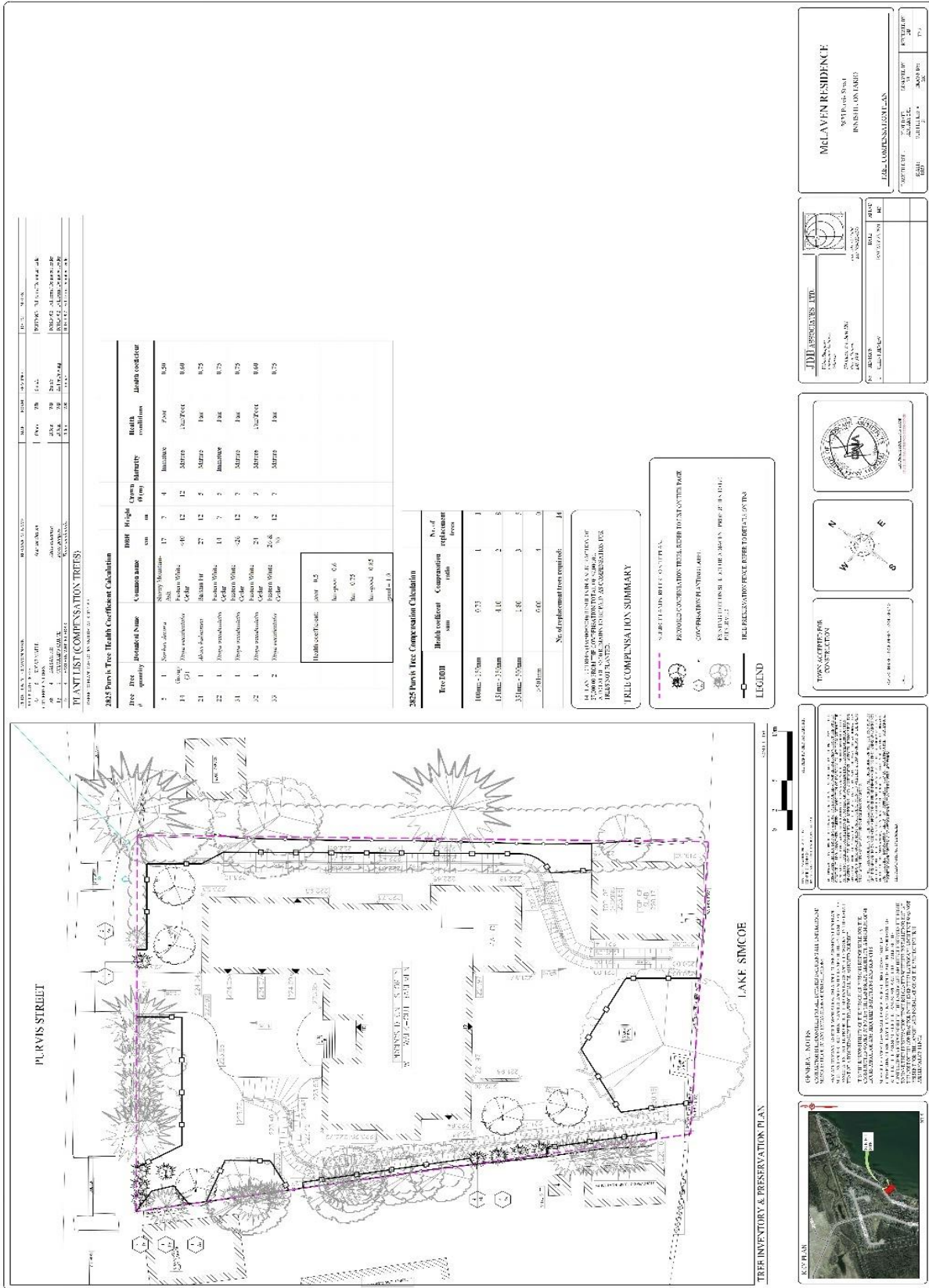


1 SITE PLAN
SCALE:

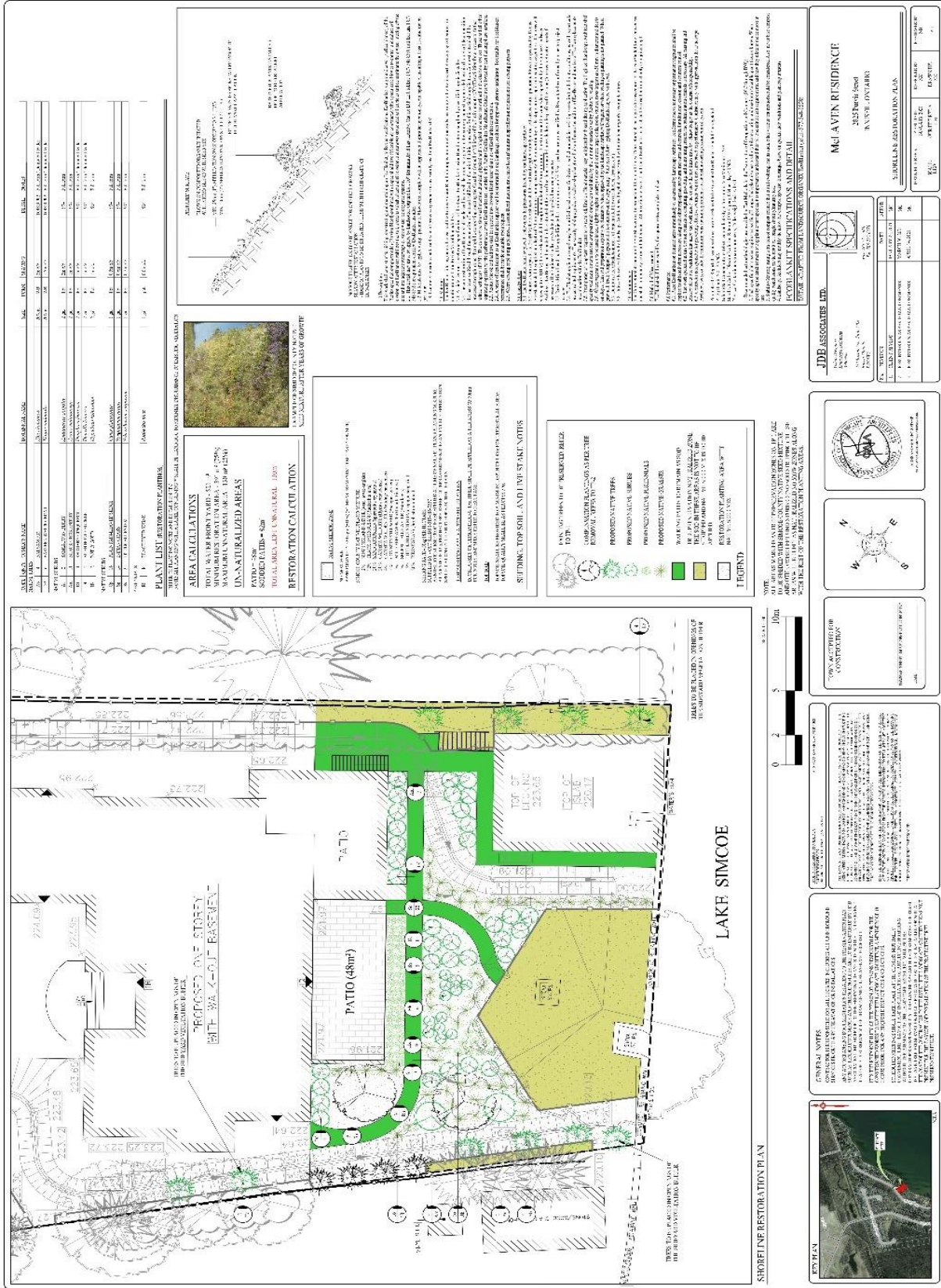
Appendix B: Airphoto of Existing Site Layout



Tree Compensation Plan



Shoreline Restoration Plan

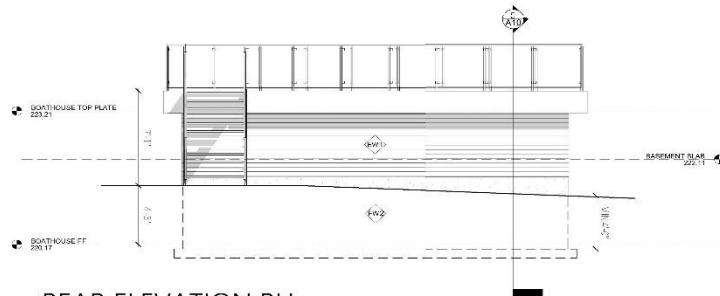


Appendix D: Architecture Elevations

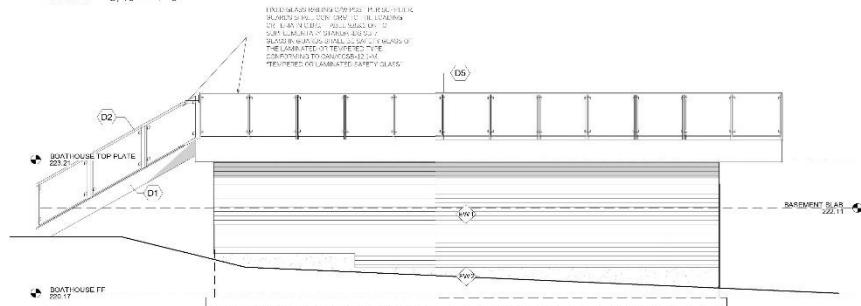
Boathouse Elevations + Floor Plan



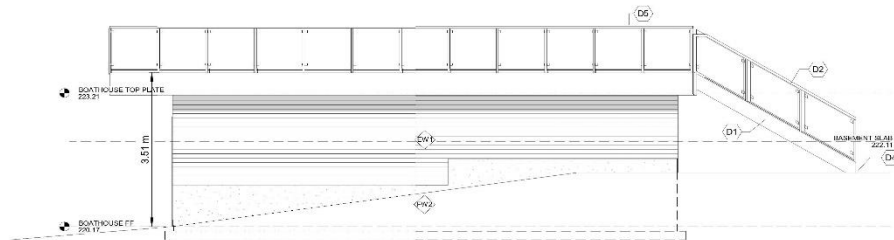
1 FRONT ELEVATION BH
SCALE: 3/16" = 1'-0"



2 REAR ELEVATION BH
SCALE: 3/16" = 1'-0"



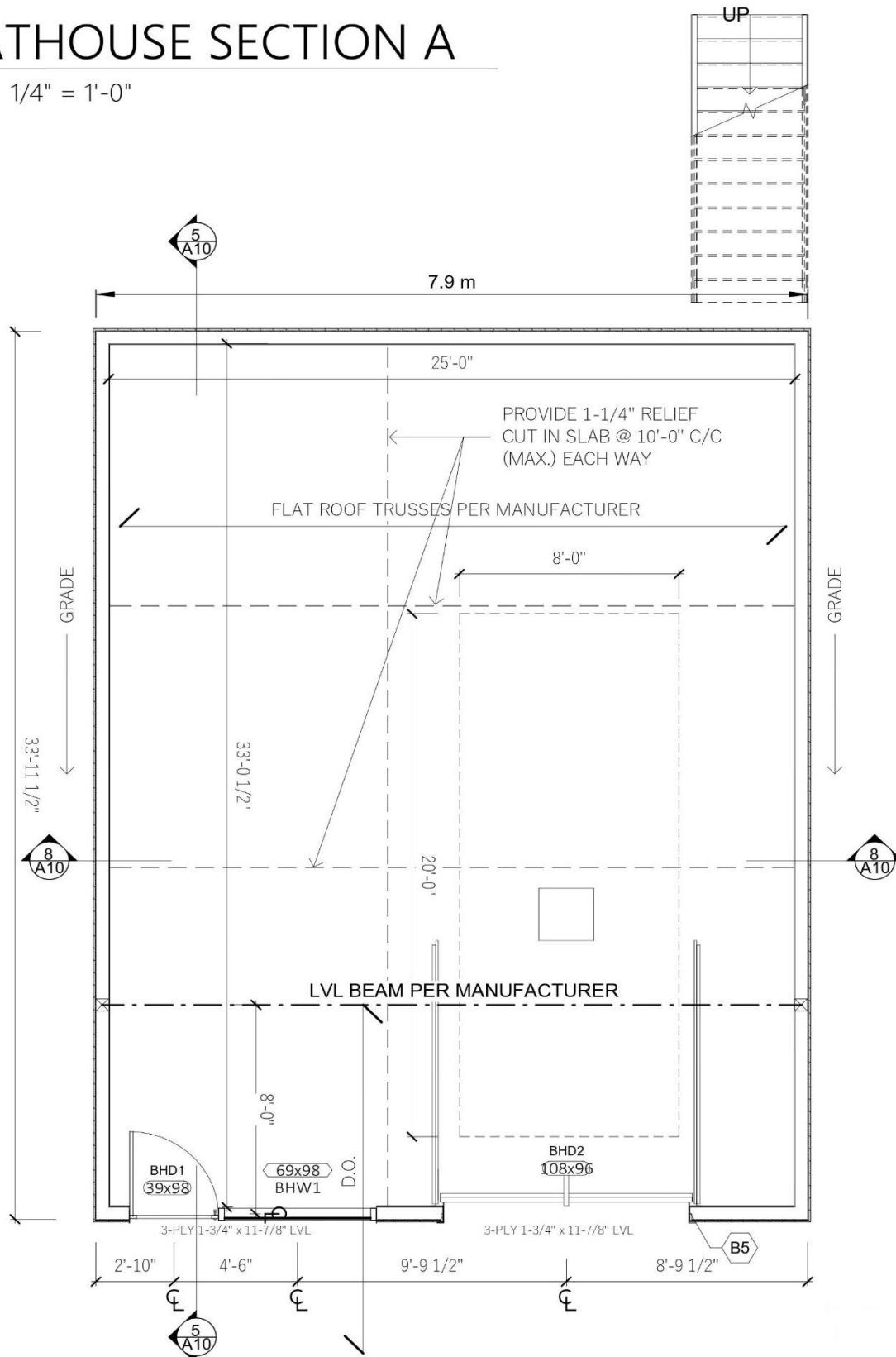
3 EAST ELEVATION BH
SCALE: 3/16" = 1'-0"



4 WEST ELEVATION BH
SCALE: 3/16" = 1'-0"

5 BOATHOUSE SECTION A

SCALE: 1/4" = 1'-0"





Courtesy LM Building Design

Appendix E: Neighbouring Lot Coverage Calculations



LUIS MENDEZ
 109 Toronto St
 Barrie, ON L4N 1V1
 705.817.2686
 info@luismendez.ca

LOT COVERAGE CALCULATION

DWG No: **A11**
 REVISION 03/24/2021



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PURVIS HOUSE
 2825 Purvis St
 Innisfil

WE ONLY CHOOSE THE PROPERTY HAS SIMILAR LOT AREA. THERE ARE MANY PROPERTIES HAVE LOT COVERAGE OVER 30% WITH UNDER 1000 SM LOT AREA.

ADDRESS	GBA (SM)	LOT AREA (SM)	LOT COVERAGE
29 Sunnypoint Dr	367	1122	32.7%
3945 Lakeview Rd	350	1523	23.0%
5 Gooch Park Dr	295	1202	24.5%
2685 Leonard St	417	1473	28.3%
2669 Leonard St	394	1507	26.1%
3559 Glenhaven Beach Rd	508	1793	28.3%
31 Tijou Woods PL	325	1246	26.1%
60 Lakeside Dr	352	1480	23.8%
64 Lakeside Dr	322	1479	21.8%
1607 Houston Ave	551	1950	28.3%
1435 Maple Rd	469	2143	21.9%
1415 Maple Rd	633	2389	26.5%
1034 Degrassi Cove PI	353	1468	24.1%
1010 Degrassi Cove PI	366	1541	23.7%
1001 Degrassi Cove PI	394	1555	25.3%
2801 Purvis St	491	1524	32.2%
2869 Purvis St	279	1149	24.3%
2871 Purvis St	340	1407	24.2%
2883 Purvis St	672	1744	38.5%

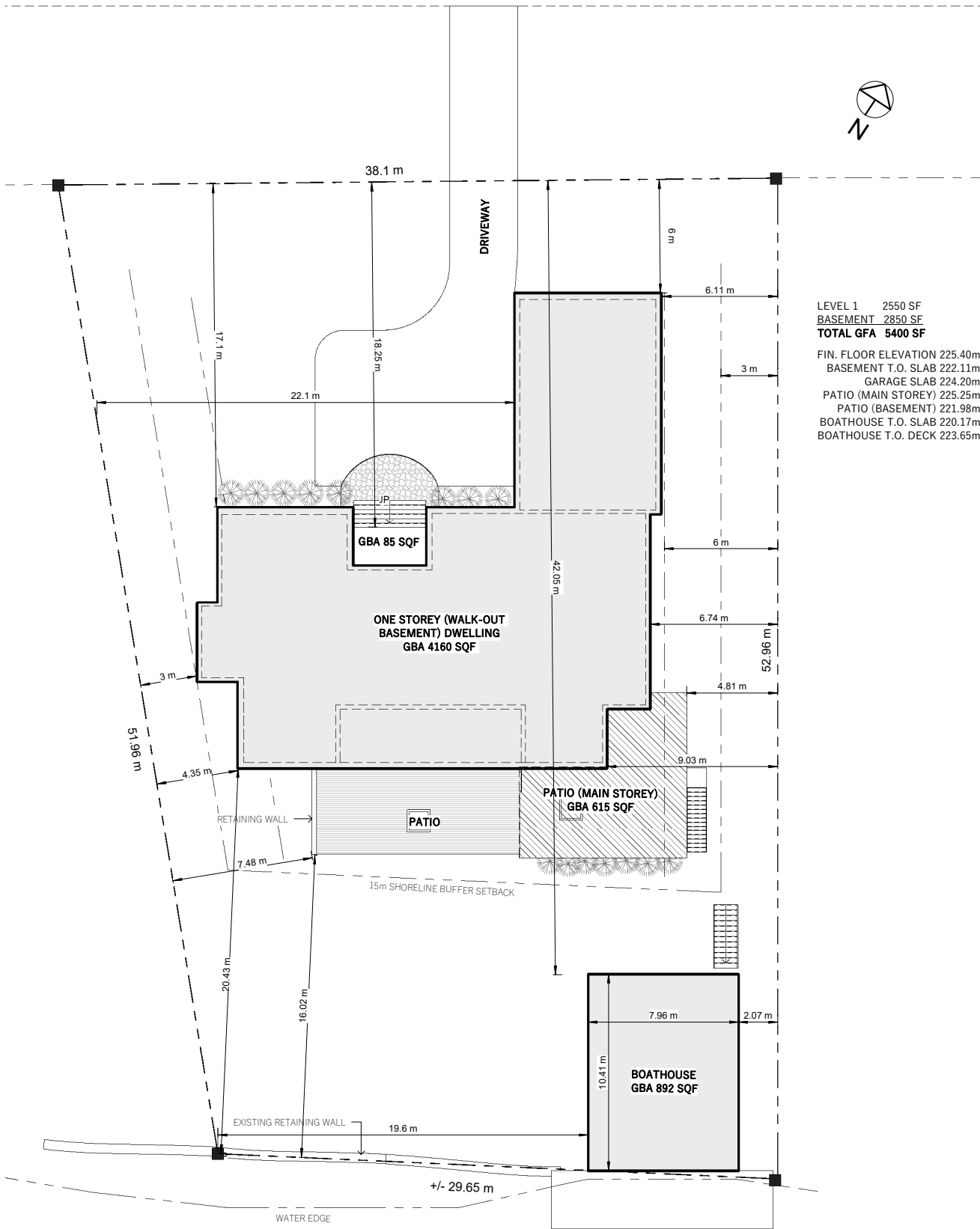
Appendix F: Selected Site Photos



Photo A: View of the existing waterfront/shoreline area including existing boathouse.



Photo B: View of front yard along Purvis Street showing existing vegetation proposed to remain. Photo is directed towards the north-west.



LEVEL 1 2550 SF
BASEMENT 2850 SF
TOTAL GFA 5400 SF

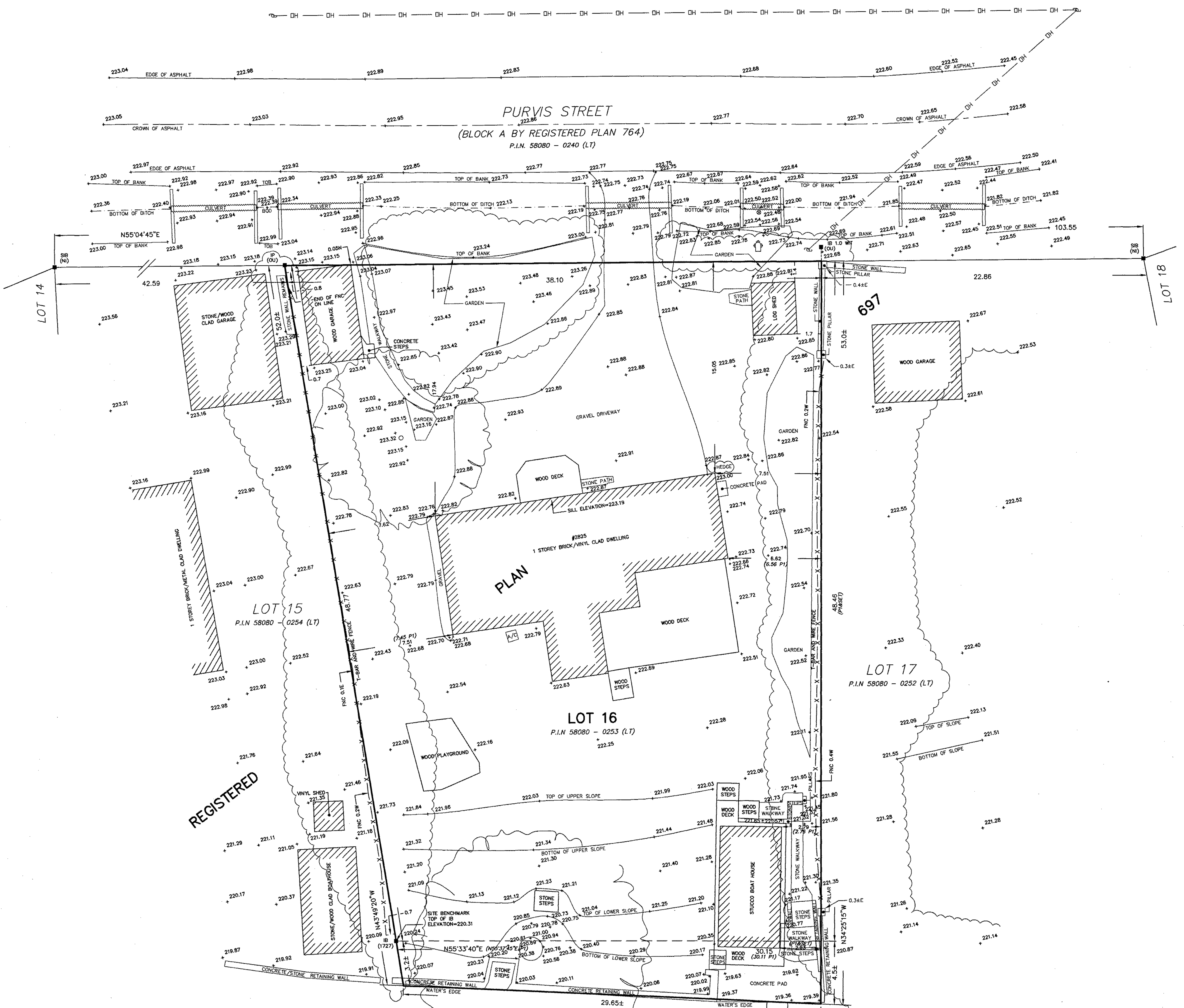
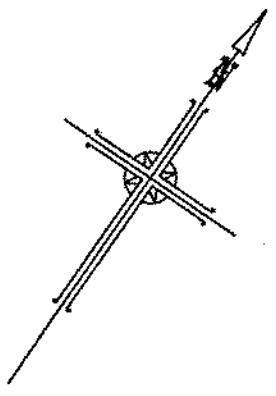
 FIN. FLOOR ELEVATION 225.40m
 BASEMENT T.O. SLAB 222.11m
 GARAGE SLAB 224.20m
 PATIO (MAIN STOREY) 225.25m
 PATIO (BASEMENT) 221.98m
 BOATHOUSE T.O. SLAB 220.17m
 BOATHOUSE T.O. DECK 223.65m

LAKE SIMCOE

INNISFIL, ZONING BY-LAW		
SINGLE DETACHED - CPPS	REQUIRED (m)	PROPOSED (m)
MIN. FRONT YARD (DWELLING)	15	17.1
MIN. FRONT YARD (ATTACHED GARAGE)	10	6.0
MIN. REAR YARD (WATERFRONT - DWELLING)	30	20.43
MIN. REAR YARD (WATERFRONT - PORCH)	15	16.02
MIN. INT. SIDE YARD (ATTACHED GARAGE)	4/10	6.1/22.1
MIN. INT. SIDE YARD (DWELLING)	6	4.8/3
MAXIMUM HEIGHT	11	+/- 7.78
MIN. LOT AREA	5260 SQM	1766.5 SQM
MIN. LOT FRONTAGE	45	38.1/29.65 (waterfront)
MAX. LOT COVERAGE %	15%	25.6% + 4.7% (boathouse)

SURVEYOR'S REAL PROPERTY REPORT
(PART 1) PLAN OF SURVEY OF
LOT 16
REGISTERED PLAN 697
GEOGRAPHIC TOWNSHIP OF INNISFIL
TOWN OF INNISFIL
COUNTY OF SIMCOE

SCALE 1 : 150
0 1 2 3 4 5 10 metres
RUDY MAK SURVEYING LTD.



BENCHMARK
SITE BENCHMARK IS THE TOP OF THE IB NEAR THE SOUTHWEST CORNER OF LOT 16, HAVING AN ELEVATION OF 220.31.

ELEVATION NOTE
ELEVATIONS ARE GEODETIC IN ORIGIN AND WERE DERIVED FROM OBSERVED REFERENCE POINTS (ORP) USING THE LEICA SMARTNET NETWORK (2010 EPOCH) AND ARE REFERRED TO THE CGVD28-1978 (HTV2.0) DATUM.

BEARING NOTE
BEARINGS ARE UTM GRID, DERIVED FROM REAL TIME NETWORK (RTN) OBSERVATIONS, UTM ZONE 17, NAD83 (CSRS) (2010 EPOCH).

FOR COMPARISON PURPOSES, A ROTATION OF 1°10'15" COUNTER-CLOCKWISE WAS APPLIED TO BEARINGS ON P1.

NOTES:
THIS PLAN DELINEATES THE FEATURES AS SHOWN AND VISIBLE, GIVEN THE SITE CONDITIONS, CONSTRUCTION ACTIVITY, FROZEN GROUND, SNOW COVER, ETC. MAY HAVE HIDDEN FEATURES OTHERWISE VISIBLE. THE LOCATION OF UNDERGROUND SERVICES, IF SHOWN, WAS DERIVED FROM PLANS OBTAINED FROM OTHER AGENCIES. RUDY MAK SURVEYING CANNOT BE HELD RESPONSIBLE FOR THE LOCATION AND ACCURACY OF UNDERGROUND SERVICES. THE LOCATION OF ALL SERVICES MUST BE VERIFIED ON SITE. ONLY A SIGNED AND SEALED PAPER COPY OF THIS SURVEY IS AN ORIGINAL COPY. NO DIGITAL VERSION OF THIS PLAN IS TO BE CONSIDERED "ORIGINAL" AND MAY HAVE BEEN ALTERED BY OTHERS.

SURVEYOR'S REAL PROPERTY REPORT (PART 2) REPORT SUMMARY

Description of Land	LOT 16, REGISTERED PLAN 697, GEOGRAPHIC TOWNSHIP OF INNISFIL, TOWN OF INNISFIL, COUNTY OF SIMCOE.
Registered easements and/or Right-of-Ways	None.
PARCEL IS NOT SUBJECT TO EASEMENT AS PER CURRENT TITLE DESCRIPTION OF P.I.N. 58080-0253(LT).	
NOTES:	EASEMENTS AND FURTHER RESTRICTIONS ON ANY OR ALL OF THE PARCEL MAY BE FOUND IN THE ORIGINAL CROWN PATENT, ZONING BY-LAWS, OFFICIAL PLANS, SUBDIVISION AGREEMENTS, DEVELOPMENT AGREEMENTS, ETC., AND THIS SURVEY AND PLAN HAS NOT SEARCHED FOR THESE RESTRICTIONS. NOR DO WE ACCEPT ANY LIABILITY WITH RESPECT TO ANY OF THESE ELEMENTS.
Boundary Issues	NONE.
Compliance with Municipal Zoning By-Laws	Not certified by this Report.
Additional Remarks	NOTE LOCATION OF WOOD GARAGE, FENCES, PILLARS, GARDENS, STONE WALL, RETAINING WALLS, AND DOCK.
THIS REPORT WAS PREPARED FOR BIG EAST CONSTRUCTION INC. AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.	

LEGEND

■	DENOTES	FOUND SURVEY MONUMENT
□	DENOTES	PLANTED SURVEY MONUMENT
SB	DENOTES	STANDARD IRON BAR
IP	DENOTES	IRON PIPE
IB	DENOTES	IRON BAR
—x—	DENOTES	FENCING
(OU)	DENOTES	ORIGIN UNKNOWN
(N)	DENOTES	NO IDENTIFICATION
(1727)	DENOTES	E.R. GARDEN, O.L.S.
(P1)	DENOTES	SURVEYORS REAL PROPERTY REPORT BY E.R. GARDEN, O.L.S. DATED JULY 8, 2005.
RWALL	DENOTES	RETAINING WALL
BOD	DENOTES	BOTTOM OF DITCH
⊗	DENOTES	WATER VALVE
⊕	DENOTES	UTILITY POLE
—DH—	DENOTES	OVERHEAD WIRES
⊕	DENOTES	FIRE HYDRANT
○	DENOTES	DECIDUOUS TREE

METRIC
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

SURVEYOR'S CERTIFICATE
I CERTIFY THAT:
1) THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
2) THE SURVEY WAS COMPLETED ON THE 23RD DAY OF JUNE, 2020.

June 30, 2020
DATE

RUDY MAK
ONTARIO LAND SURVEYOR

ASSOCIATION OF ONTARIO LAND SURVEYORS
PLAN SUBMISSION FORM
2119324

THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR
in accordance with Regulation 1526, Section 29(3)

RUDY MAK SURVEYING LTD.
ONTARIO LAND SURVEYORS

89 BIG BAY POINT ROAD
BARRIE, ONTARIO L4N 8M5 (705) 722-3845
E-MAIL MAIL@MAKSURVEYING.COM

DRAWN BY: JAC CHECK BY: RAP FILE NO. 14296



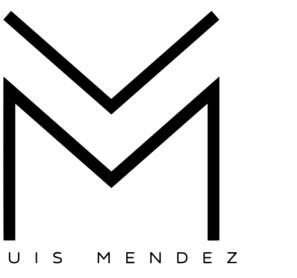
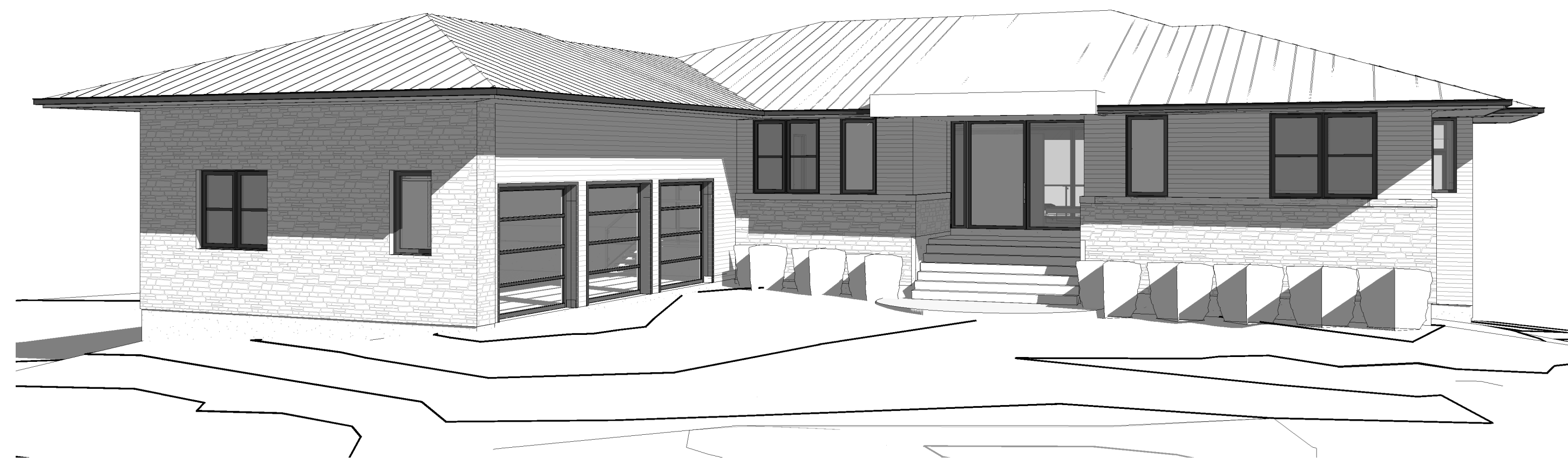
DEVELOPMENT STANDARDS SUMMARY

FILE NUMBER: _____

The Development Standards Summary applies to all Shoreline Permit Applications and provides the applicant an opportunity to demonstrate how the proposal meets the regulations of the Town's Community Planning Permit By-law 062-17. Please refer to the Town's website at <https://innisfil.ca/living/permits/ShorelinePermits>

ALL MEASUREMENTS TO BE PROVIDED IN METRIC.

		Property Details	Standard Requirement	Proposal	
		Lot Area (minimum)	5260 m ²	1766.50 m ²	
		Lot Frontage (minimum)	45 m	38.10 m	
		Water Frontage (minimum)	40 m	29.65 m	
OUTSIDE OF A SETTLEMENT AREA (Less than 7900 m ²)	Waterfront Yard	Waterfront Yard	30 m	0 m (boathouse)	
		Attached structures (i.e. decks, porches, gazebos, pergolas) or Attached Garage	15 m		
	Front Yard (minimum)	Dwelling unit	15 m	42.05 m (boathouse)	
		Attached Garage	12 m		
		Attached Garage with doors facing the interior/exterior side yard	10 m		
		Attached decks, porches, balconies	6 m		
	Interior Side Yard (minimum)	Dwelling unit	6 m	2.07 m / 19.6 m (boathouse)	
		Attached Garage	4 m		
		Attached Garage with doors facing the interior side yard	10 m		
		Attached decks, porches, balconies	4 m		
	Exterior Side Yard (minimum)	Dwelling unit	15 m		
		Attached Garage	5 m		
		Attached Garage with doors facing the exterior side yard	10 m		
		Attached decks, porches, balconies	6 m		
			Total Lot Coverage (maximum)	15%	4.7% (boathouse)
			Building Height (maximum)	11 m Flat Roof = 8 m	3.51 m (boathouse)
			Landscaped Open Space (minimum of lot area)	60%	65%
			Landscaped Open Space (minimum of front yard and exterior side yard)	60%	65%



LM Building Design
www.luismendez.ca
109 Toronto st
Barrie, ON L4N 1V1
705.817.2686
info@luismendez.ca

THESE DRAWINGS, DESIGN & DETAILS ARE THE PROPERTY OF LM BUILDING DESIGN AND ARE ISSUED AS A SERVICE ONLY. IN STRICT CONFIDENCE AND SHALL NOT BE DIVULGED, RE-USED, BE REPRODUCED, COPIED OR USE AS THE BASIS FOR THE CONSTRUCTION OF ANY HOUSE INVOLVING OTHER(S) DESIGNER(S) WITHOUT THE WRITTEN CONSENT OF LM BUILDING DESIGN

CLIENT:

PROJECT:

PURVIS HOUSE

LOCATION:
2825 Purvis St
Innisfil

DWG:
PRESENTATION SHEET

No:	STATUS:
3	29/07/2020 ROUGH PRICING 1
4	06/08/2020 ROUGH PRICING 2
5	25/08/2020 CONSERVATION
6	27/08/2020 ENGINEER REVIEW
7	02/10/2020 ROOF PITCH REVIEW
8	24/11/2020 GRADING REV.
9	13/01/2020 BACK PATIOR REV.

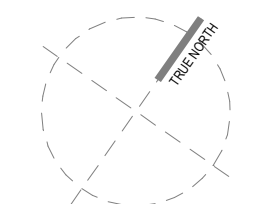
PROJECT NORTH: Drawn by: L.M.

Date: 15/01/2021

Scale:

Project No: 2009

TRUE NORTH: DWG No:



A0



MAX COVERAGE 35%
 LOT = 19015 SF
 MAX = 6655 SF
 GBA = 5752 SF
 LEVEL 1 2550 SF
 BASEMENT 2850 SF
 TOTAL GFA 5400 SF
 FIN. FLOOR ELEVATION 225.40m
 BASEMENT T.O. SLAB 224.11m
 GARAGE SLAB 224.20m
 PATIO (MAIN STOREY) 225.25m
 PATIO (BASEMENT) 221.98m
 BOATHOUSE T.O. SLAB 220.17m
 BOATHOUSE T.O. DECK 223.65m

ITEM	ONTARIO BUILDING CODE DATA MATRIX	OBC REFERENCE																																																								
1	PROJECT DESCRIPTION: NEW ONE STOREY W/ WALKOUT BASEMENT HOUSE <input checked="" type="checkbox"/> NEW <input type="checkbox"/> ADDITION <input type="checkbox"/> ALTERATION <input type="checkbox"/> CHANGE OF USE	<input type="checkbox"/> PART 3 <input checked="" type="checkbox"/> PART 9 B1.1.2.4 B9.10.1.3 <input type="checkbox"/> PART 11																																																								
2	MAJOR OCCUPANCY(S) RESIDENTIAL	B9.10.2																																																								
3	BUILDING AREA (m2) EXISTING 0.00 m ² NEW 526.00 m ² TOTAL 526.00 m ²	B1.4.1.2																																																								
4	GROSS AREA (m2) EXISTING 0.00 m ² NEW 501.70 m ² TOTAL 501.70 m ²	B1.4.1.2																																																								
5	NUMBER OF STOREYS ABOVE GRADE 1 BELOW GRADE 1	B1.1.2.4																																																								
6	HEIGHT OF BUILDING (M) 7.78 m																																																									
7	NUMBER OF STREETS/ACCESS ROUTES 1	B9.10.20.3																																																								
8	BUILDING CLASSIFICATION GROUP C - HOUSES (SMALL)	B9.10.2 B9.10.8.1																																																								
9	SPRINKLER SYSTEM <input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> BASEMENT ONLY <input type="checkbox"/> IN LIEU IF ROOF RATING <input checked="" type="checkbox"/> NOT REQUIRED	B9.10.8																																																								
10	STANDPIPE REQUIRED <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	N/A																																																								
11	FIRE ALARM REQUIRED <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	B9.10.18.2																																																								
12	WATER SERVICE/SUPPLY IS ADEQUATE <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	N/A																																																								
13	HIGH BUILDING <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	N/A																																																								
14	PERMITTED CONSTRUCTION <input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input checked="" type="checkbox"/> BOTH ACTUAL CONSTRUCTION <input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input checked="" type="checkbox"/> BOTH	B9.10.8 B9.10.14.5																																																								
15	MEZZANINE(S) AREA M2 0.00 m ²	N/A																																																								
16	TOTAL OCCUPANCY LOAD 8 PERSONS BASED ON <input type="checkbox"/> M2/PERSON <input checked="" type="checkbox"/> 2 PERSONS/BED	B9.9.1.3																																																								
17	BARRIER-FREE DESIGN <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO (EXPLAIN)	B9.5.2.1																																																								
18	HAZARDOUS SUBSTANCES <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	B9.10.1.3.(4)																																																								
19	REQUIRED FIRE RESISTANCE RATING (FRR)	B9.10.8 B9.10.9 B9.10.9.16																																																								
<table border="1"> <thead> <tr> <th colspan="2">HORIZONTAL ASSEMBLIES</th> <th colspan="2">LISTED DESIGN NO. OR DESCRIPTION (SB-3)</th> </tr> </thead> <tbody> <tr> <td>FLOORS</td> <td>0.75 HOURS</td> <td colspan="2">N/A</td> </tr> <tr> <td>ROOF</td> <td>N/A HOURS</td> <td colspan="2">N/A</td> </tr> <tr> <td>MEZZANINE</td> <td>0.75 HOURS</td> <td colspan="2">N/A</td> </tr> <tr> <th colspan="2">FRR OF SUPPORTING MEMBERS</th> <th colspan="2">LISTED DESIGN NO. OR DESCRIPTION (SB-3)</th> </tr> <tr> <td>FLOORS</td> <td>0.75 HOURS</td> <td colspan="2">N/A</td> </tr> <tr> <td>ROOF</td> <td>0.75 HOURS</td> <td colspan="2">N/A</td> </tr> <tr> <td>MEZZANINE</td> <td>0.75 HOURS</td> <td colspan="2">N/A</td> </tr> </tbody> </table>		HORIZONTAL ASSEMBLIES		LISTED DESIGN NO. OR DESCRIPTION (SB-3)		FLOORS	0.75 HOURS	N/A		ROOF	N/A HOURS	N/A		MEZZANINE	0.75 HOURS	N/A		FRR OF SUPPORTING MEMBERS		LISTED DESIGN NO. OR DESCRIPTION (SB-3)		FLOORS	0.75 HOURS	N/A		ROOF	0.75 HOURS	N/A		MEZZANINE	0.75 HOURS	N/A																										
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20	SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS	B9.10.15																																																								
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INNISFIL ZONING BY-LAW		
SINGLE DETACHED - CPPS	REQUIRED (m)	PROPOSED (m)
MIN. FRONT YARD (DWELLING)	4.5	17.1
MIN. FRONT YARD (ATTACHED GARAGE)	6	6.0
MIN. REAR YARD (WATERFRONT)	15	16.02
MIN. INT. SIDE YARD (ATTACHED GARAGE)	2	6.1
MIN. INT. SIDE YARD (DWELLING)	3	(4.8/3)
MAXIMUM HEIGHT	8	+/- 7.78
MIN. LOT AREA	1400 SQM	1763.9 SQM
MIN. LOT FRONTAGE	17	+/- 29.65
MAX. LOT COVERAGE %	35%	30.2%

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LOADS	
Floor Live Load :	40 PSF
Floor Dead Load :	25 PSF
Roof Dead Load :	15 PSF

CLIMATIC DATA (INNISFIL, ON)	
Ground Snow Load (Sg):	2.5 kPa
Rain Snow Load (Sr):	0.4 kPa
Snow Load Factor:	0.55
Specified Roof Load :	1.735 kPa + snow piling
Hourly Wind Pressure (1/50) :	0.36 kPa
Degree Days Below 18C :	4380

CLIENT:

PROJECT:

PURVIS HOUSE

LOCATION:
 2825 Purvis St
 Innisfil

DWG:

SITE PLAN

No:	STATUS:
3	29/07/2020 ROUGH PRICING 1
4	06/08/2020 ROUGH PRICING 2
5	25/08/2020 CONSERVATION
6	27/08/2020 ENGINEER REVIEW
7	02/10/2020 ROOF PITCH REVIEW
8	24/11/2020 GRADING REV.
9	13/01/2020 BACK PATIOR REV.

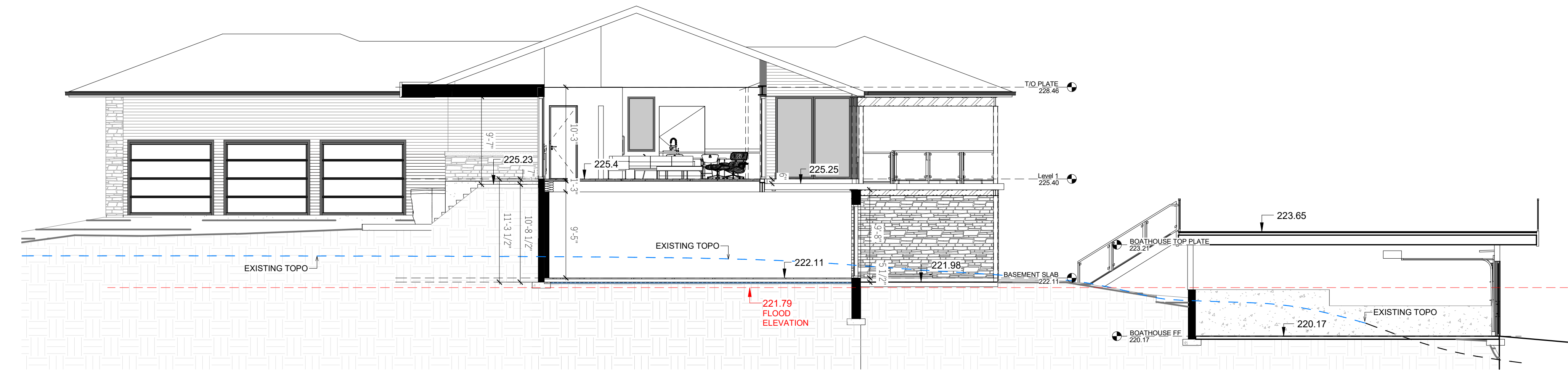
PROJECT NORTH: Drawn by: L.M.

Date: 15/01/2021
 Scale: As indicated
 Project No: 2009

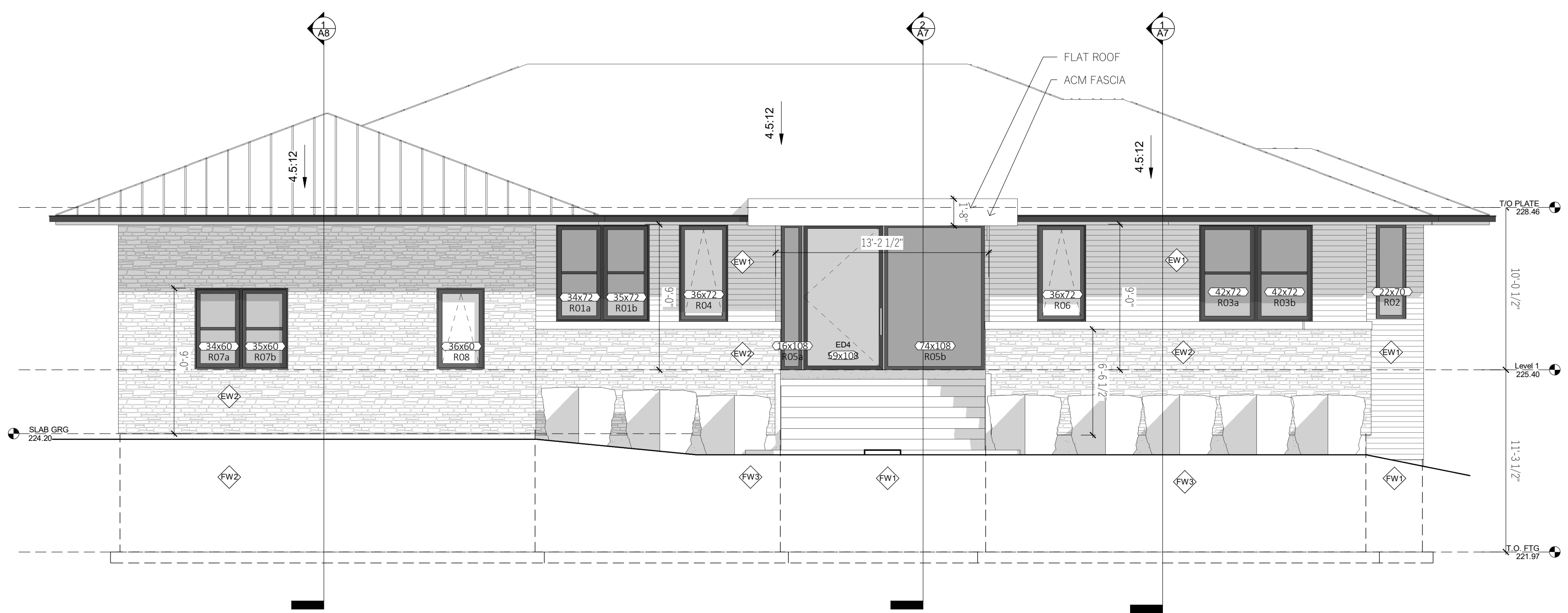
TRUE NORTH: DWG No:

1 SITE PLAN
 SCALE: 1:150

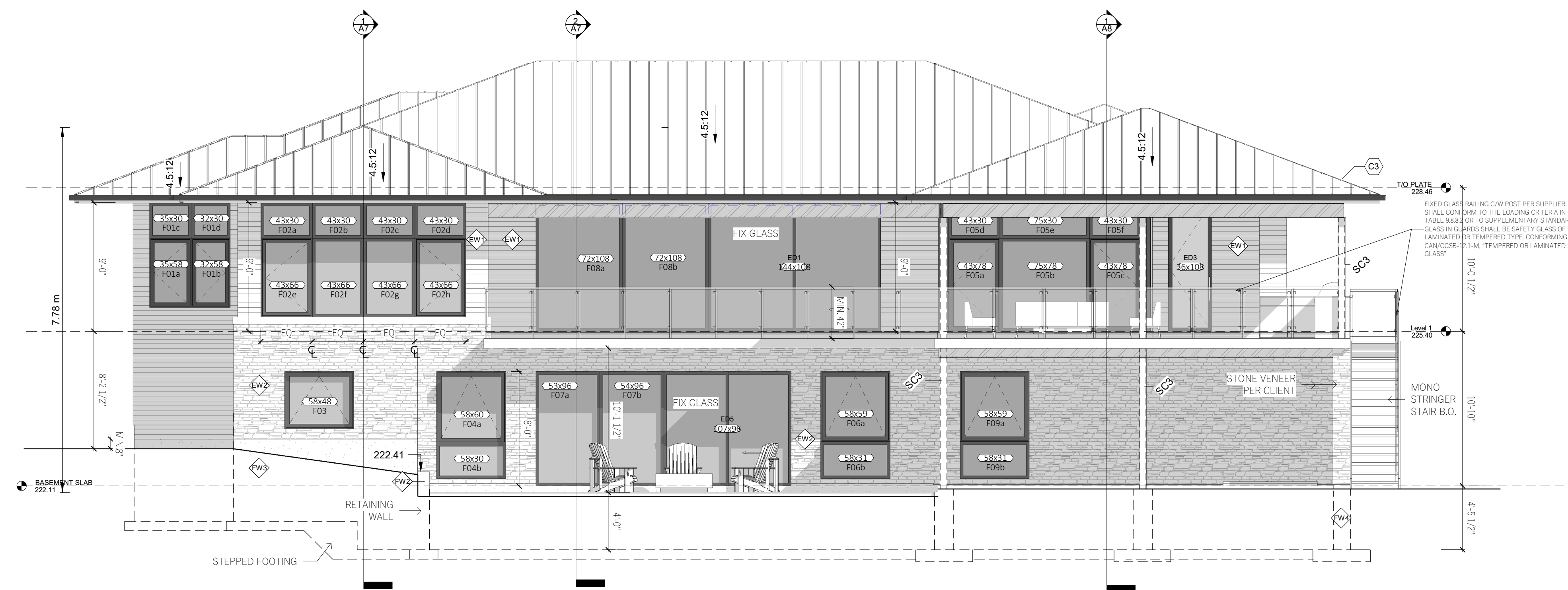
2 SECTION-ROUGH GRADING
 SCALE: 1/8" = 1'-0"



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1 FRONT ELEVATION
SCALE: 3/16" = 1'-0"



2 REAR ELEVATION
SCALE: 3/16" = 1'-0"

Key Value	Keynote Text
C3	FLASHING: SHEET METAL FLASHING SHALL CONSIST OF NOT LESS THAN 1/16" SHEET LEAD, 0.013" GALVANIZED STEEL, 0.018" COPPER, 0.018" ZINC, OR 0.019" ALUMINUM IN COLORS APPROVED BY THE OWNER OR DESIGNER PRIOR TO INSTALLATION.

WINDOW SCHEDULE			
Mark	Width	Height	Glazed area
BHW1	69"	98"	47.1 SF
E01	60"	36"	15.0 SF
E02	42"	36"	10.5 SF
E03	42"	88"	25.6 SF
E04a	50"	108"	37.1 SF
E04b	50"	108"	37.1 SF
E05	60"	36"	15.0 SF
E06a	48"	36"	11.9 SF
E06b	48"	36"	11.9 SF
E07a	48"	30"	10.0 SF
E07b	48"	30"	10.0 SF
E07c	48"	66"	21.9 SF
E07d	48"	66"	21.9 SF
F01a	35"	58"	14.3 SF
F01b	32"	58"	13.1 SF
F01c	35"	30"	7.4 SF
F01d	32"	30"	6.7 SF
F02a	43"	30"	8.9 SF
F02b	43"	30"	8.9 SF
F02c	43"	30"	8.9 SF
F02d	43"	30"	8.9 SF
F02e	43"	66"	19.7 SF
F02f	43"	66"	19.7 SF
F02g	43"	66"	19.7 SF
F02h	43"	66"	19.7 SF
F03	58"	48"	19.3 SF
F04a	58"	60"	24.1 SF
F04b	58"	30"	12.0 SF
F05a	43"	78"	23.2 SF
F05b	75"	78"	40.5 SF

WINDOW SCHEDULE			
Mark	Width	Height	Glazed area
F05c	43"	78"	23.2 SF
F05d	43"	30"	8.9 SF
F05e	75"	30"	15.6 SF
F05f	43"	30"	8.9 SF
F06a	58"	59"	23.6 SF
F06b	58"	31"	12.6 SF
F07a	53"	96"	35.6 SF
F07b	54"	96"	35.6 SF
F08a	72"	108"	54.1 SF
F08b	72"	108"	54.1 SF
F09a	58"	59"	23.6 SF
F09b	58"	31"	12.6 SF
R01a	34"	72"	16.9 SF
R01b	35"	72"	17.4 SF
R02	22"	70"	10.6 SF
R03a	42"	72"	20.9 SF
R03b	42"	72"	21.0 SF
R04	36"	72"	17.9 SF
R05a	16"	108"	11.6 SF
R05b	74"	108"	55.7 SF
R06	36"	72"	17.9 SF
R07a	34"	60"	14.1 SF
R07b	35"	60"	14.5 SF
R08	36"	60"	14.9 SF
W01a	49"	108"	36.6 SF
W01b	49"	108"	36.8 SF
W02	36"	72"	17.9 SF
W03	36"	72"	17.9 SF
W04	60"	48"	20.0 SF
W05	48"	48"	16.0 SF
Grand total:	60		1236.9 SF

DOOR SCHEDULE			
D#	Qty.	Width	Height
BHD1	1	39"	98"
BHD2	1	108"	96"
ED1	1	144"	108"
ED2	1	96"	108"
ED3	1	36"	108"
ED4	1	59"	108"
ED5	1	107"	96"
GD1	3	108"	96"
ID1	7	36"	96"
ID2	7	32"	96"
ID3	3	32"	96"
ID4	1	32"	108"
ID5	1	36"	96"

LOADS	
Floor Live Load :	40 PSF
Floor Dead Load :	25 PSF
Roof Dead Load :	15 PSF

CLIMATIC DATA (INNISFIL, ON)	
Ground Snow Load (Sg) :	2.5 kPa
Rain Snow Load (Sr) :	0.4 kPa
Snow Load Factor :	0.55
Specified Roof Load :	1.735 kPa + snow piling
Hourly Wind Pressure (1/50) :	0.36 kPa
Degree Days Below 18C :	4380

WALL ASSEMBLIES

- EW1 EXTERIOR FOUNDATION WALL
 - 8" CONCRETE FOUNDATION WALL, W/ CONTINUOUS KEYPED CONC. FTG.
- EW2 EXTERIOR FOUNDATION WALL
 - 10" CONCRETE FOUNDATION WALL, W/ CONTINUOUS KEYPED CONC. FTG.
- EW3 EXTERIOR FOUNDATION WALL
 - 12" CONCRETE FOUNDATION WALL, W/ CONTINUOUS KEYPED CONC. FTG.
- EW4 EXTERIOR FOUNDATION WALL
 - 16" CONCRETE FOUNDATION WALL, W/ CONTINUOUS KEYPED CONC. FTG.
- EW5 EXTERIOR WOOD SIDING OR WOOD SHAKES
 - 1/2" DRYWALL
 - 2X6 STUDS @ 16" O.C.
 - 5-1/2" BATT TYPE INSULATION (R24)
 - 1/2" PLYWOOD SHEATHING (EXTERIOR TYPE)
 - 1-1/2" SM INSULATION (R7.5)
 - 1X3 SPF#2 VERT. STRAPPING @ 2'-0" O.C.
 - WOOD SIDING OR SHAKES PER PLAN PER CLIENT (NOTE: NO INSULATION REQUIRED FOR GARAGE & BOATHOUSE)
- EW6 EXTERIOR STONE VENEER
 - 1/2" DRYWALL
 - 2X6 STUDS @ 16" O.C.
 - 5-1/2" BATT TYPE INSULATION (R24)
 - 1/2" PLYWOOD SHEATHING (EXTERIOR TYPE)
 - 1-1/2" SM INSULATION (R7.5)
 - RAINSREEN DRAINAGE MAT OR DELTA®-DRY VENTILATED RAINSREEN
 - 1" AIR SPACE
 - NATURAL STONE VENEER (3-1/2" THICK) (NOTE: NO INSULATION REQUIRED FOR GARAGE & BOATHOUSE)
- EW7 INTERIOR PARTITION 2x4
 - 1/2" DRYWALL ON BOTH SIDES
 - 2x4" SPF#2 STUDS @ 16" O.C.
- EW8 INTERIOR PARTITION 2x6
 - 1/2" DRYWALL ON BOTH SIDES
 - 2x6" SPF#2 STUDS @ 16" O.C.
- EW9 INTERIOR PARTITION - STONE VENEER
 - 2x6" SPF#2 STUDS @ 12" O.C.
 - 1/2" DRYWALL ONE SIDE & 3-1/2" MASONRY PER CLIENT OTHER SIDE
- EW10 INTERIOR BASEMENT PARTITION
 - 2" RIGID INSULATION
 - 2x4" SPF#2 STUDS @ 16" O.C.
 - 1/2" DRYWALL

CLIENT:

PROJECT:

PURVIS HOUSE

LOCATION:
2825 Purvis St
Innisfil

DWG:
FRONT & REAR
ELEVATIONS

No:	STATUS:
3	29/07/2020 ROUGH PRICING 1
4	06/08/2020 ROUGH PRICING 2
5	25/08/2020 CONSERVATION
6	27/08/2020 ENGINEER REVIEW
7	02/10/2020 ROOF PITCH REVIEW
8	24/11/2020 GRADING REV.
9	13/01/2020 BACK PATIOR REV.

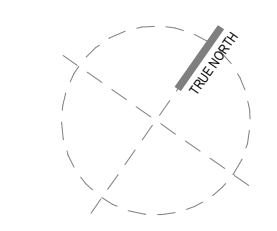
PROJECT NORTH: Drawn by: Author

Date: 15/01/2021

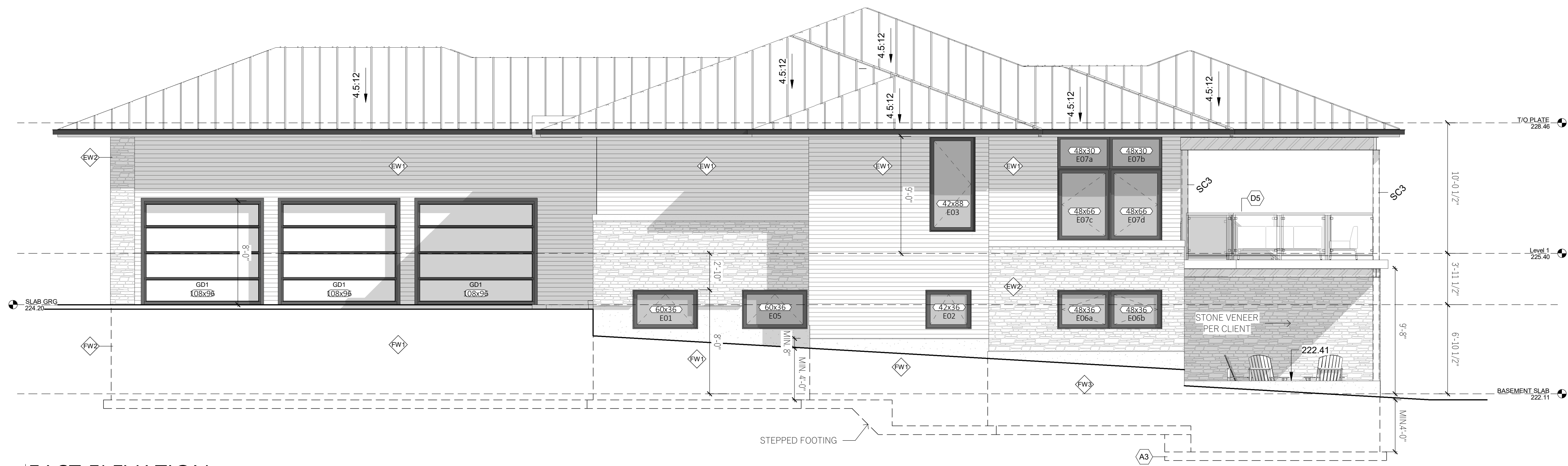
Scale: As indicated

Project No: 2009

TRUE NORTH: DWG No:



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1 EAST ELEVATION
SCALE: 3/16" = 1'-0"

WINDOW SCHEDULE			
Mark	Width	Height	Glazed area
BHW1	69"	98"	47.1 SF
E01	60"	36"	15.0 SF
E02	42"	36"	10.5 SF
E03	42"	88"	25.6 SF
E04a	50"	108"	37.1 SF
E04b	50"	108"	37.1 SF
E05	60"	36"	15.0 SF
E06a	48"	36"	11.9 SF
E06b	48"	36"	11.9 SF
E07a	48"	30"	10.0 SF
E07b	48"	30"	10.0 SF
E07c	48"	66"	21.9 SF
E07d	48"	66"	21.9 SF
F01a	35"	58"	14.3 SF
F01b	32"	58"	13.1 SF
F01c	35"	30"	7.4 SF
F01d	32"	30"	6.7 SF
F02a	43"	30"	8.9 SF
F02b	43"	30"	8.9 SF
F02c	43"	30"	8.9 SF
F02d	43"	30"	8.9 SF
F02e	43"	66"	19.7 SF
F02f	43"	66"	19.7 SF
F02g	43"	66"	19.7 SF
F02h	43"	66"	19.7 SF
F03	58"	48"	19.3 SF
F04a	58"	60"	24.1 SF
F04b	58"	30"	12.0 SF
F05a	43"	78"	23.2 SF
F05b	75"	78"	40.5 SF

WINDOW SCHEDULE			
Mark	Width	Height	Glazed area
F05c	43"	78"	23.2 SF
F05d	43"	30"	8.9 SF
F05e	75"	30"	15.6 SF
F05f	43"	30"	8.9 SF
F06a	58"	59"	23.6 SF
F06b	58"	31"	12.6 SF
F07a	53"	96"	35.6 SF
F07b	54"	96"	35.6 SF
F08a	72"	108"	54.1 SF
F08b	72"	108"	54.1 SF
F09a	58"	59"	23.6 SF
F09b	58"	31"	12.6 SF
R01a	34"	72"	16.9 SF
R01b	35"	72"	17.4 SF
R02	22"	70"	10.6 SF
R03a	42"	72"	20.9 SF
R03b	42"	72"	21.0 SF
R04	36"	72"	17.9 SF
R05a	16"	108"	11.6 SF
R05b	74"	108"	55.7 SF
R06	36"	72"	17.9 SF
R07a	34"	60"	14.1 SF
R07b	35"	60"	14.5 SF
R08	36"	60"	14.9 SF
W01a	49"	108"	36.6 SF
W01b	49"	108"	36.8 SF
W02	36"	72"	17.9 SF
W03	36"	72"	17.9 SF
W04	60"	48"	20.0 SF
W05	48"	48"	16.0 SF

Grand total: 60 1236.9 SF

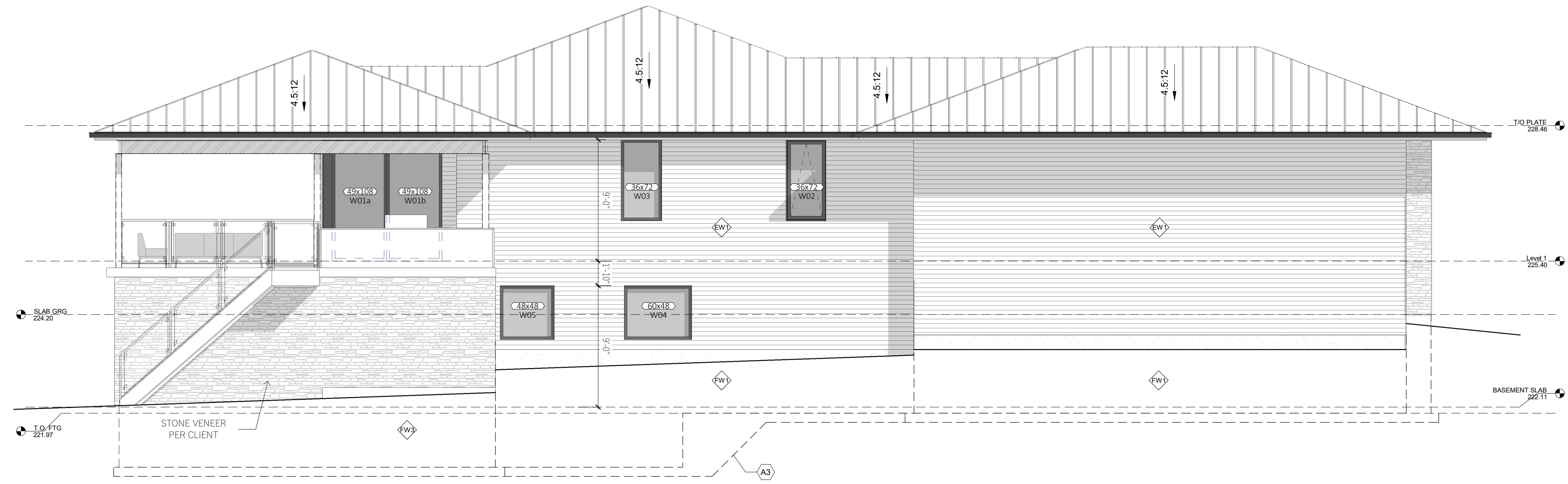
DOOR SCHEDULE			
D#	Qty.	Width	Height
BHD1	1	39"	96"
BHD2	1	108"	96"
ED1	1	144"	108"
ED2	1	96"	108"
ED3	1	36"	108"
ED4	1	59"	108"
ED5	1	107"	96"
GD1	3	108"	96"
ID1	7	36"	96"
ID2	7	32"	96"
ID3	3	32"	96"
ID4	1	32"	108"
ID5	1	36"	96"

LOADS	
Floor Live Load :	40 PSF
Floor Dead Load :	25 PSF
Roof Dead Load :	15 PSF

CLIMATIC DATA (INNISFIL, ON)	
Ground Snow Load (Sg):	2.5 kPa
Rain Snow Load (Sr):	0.4 kPa
Snow Load Factor:	0.55
Specified Roof Load :	1.735 kPa + snow piling
Hourly Wind Pressure (1/50) :	0.36 kPa
Degree Days Below 18C :	4380

CLIENT:

CONSTRUCTION NOTES SHEET	
Key Value	Keynote Text
A3	STEP FOOTING: CONFORMING TO O.B.C 9.15.3.9. HORIZONTAL STEP= 23-5/8" MIN. BETWEEN RISER. VERTICAL STEP = 23-5/8" MAX.
D5	EXTERIOR GUARDS: -GUARDS REQUIRED AS PER O.B.C. 9.8.8.1 -GUARD TO BE 3'-6" HIGH FOR FLOOR TO FLOOR/GRADE HEIGHTS GREATER THAN 5'-11" -GUARDS TO BE 2'-11" FOR HEIGHTS LESS THAN 5'-11" -GUARDS TO BE 4'-11" WHERE ADJACENT GROUND LEVEL IS MORE THAN 32'-10" -PICKETS TO HAVE 4" MAX. SPACING -THE CONSTRUCTION OF GUARDS SHALL CONFORM TO THE LOADING CRITERIA IN O.B.C.- 4.1.5.14 OR TO SUPPLEMENTARY STANDARDS SB-7



2 WEST ELEVATION
SCALE: 3/16" = 1'-0"

PROJECT:

PURVIS HOUSE

LOCATION:
2825 Purvis St
Innisfil

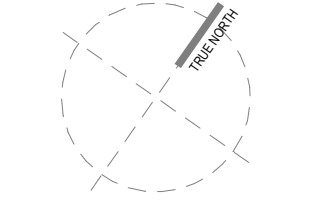
DWG: EAST & WEST ELEVATIONS

No:	STATUS:
3	29/07/2020 ROUGH PRICING 1
4	06/08/2020 ROUGH PRICING 2
5	25/08/2020 CONSERVATION
6	27/08/2020 ENGINEER REVIEW
7	02/10/2020 ROOF PITCH REVIEW
8	24/11/2020 GRADING REV.
9	13/01/2020 BACK PATIOR REV.

PROJECT NORTH: Drawn by: Author

Date: 15/01/2021
Scale: 3/16" = 1'-0"
Project No: 2009

TRUE NORTH: DWG No:



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NOTE:
NEW CONSTRUCTION DIMENSIONS ARE FROM:
• FACE OF FDN WALLS
• EXTERIOR FACE OF WOOD STUDS
• INTERIOR FACE OF WOOD STUDS
• TO CENTERLINE OF ROUGH OPENINGS
• UNDERSIDE OF FLR JOISTS & TRUSSES

LOADS

Floor Live Load :	40 PSF
Floor Dead Load :	25 PSF
Roof Dead Load :	15 PSF

CLIMATIC DATA (INNISFIL, ON)

Ground Snow Load (Sg) :	2.5 kPa
Rain Snow Load (Sr) :	0.4 kPa
Snow Load Factor :	0.55
Specified Roof Load :	1.735 kPa + snow piling
Hourly Wind Pressure (1/50) :	0.36 kPa
Degree Days Below 18C :	4380

CLIENT:

PROJECT:

PURVIS HOUSE

LOCATION:
**2825 Purvis St
Innisfil**

DWG:

BOATHOUSE

No:	STATUS:
3	29/07/2020 ROUGH PRICING 1
4	06/08/2020 ROUGH PRICING 2
5	25/08/2020 CONSERVATION
6	27/08/2020 ENGINEER REVIEW
7	02/10/2020 ROOF PITCH REVIEW
8	24/11/2020 GRADING REV.
9	13/01/2020 BACK PATIOR REV.

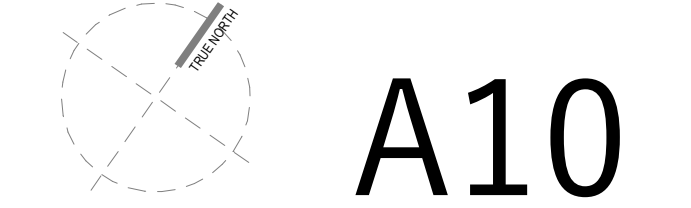
PROJECT NORTH: Drawn by: **Author**

Date: **15/01/2021**

Scale: **As indicated**

Project No: **2009**

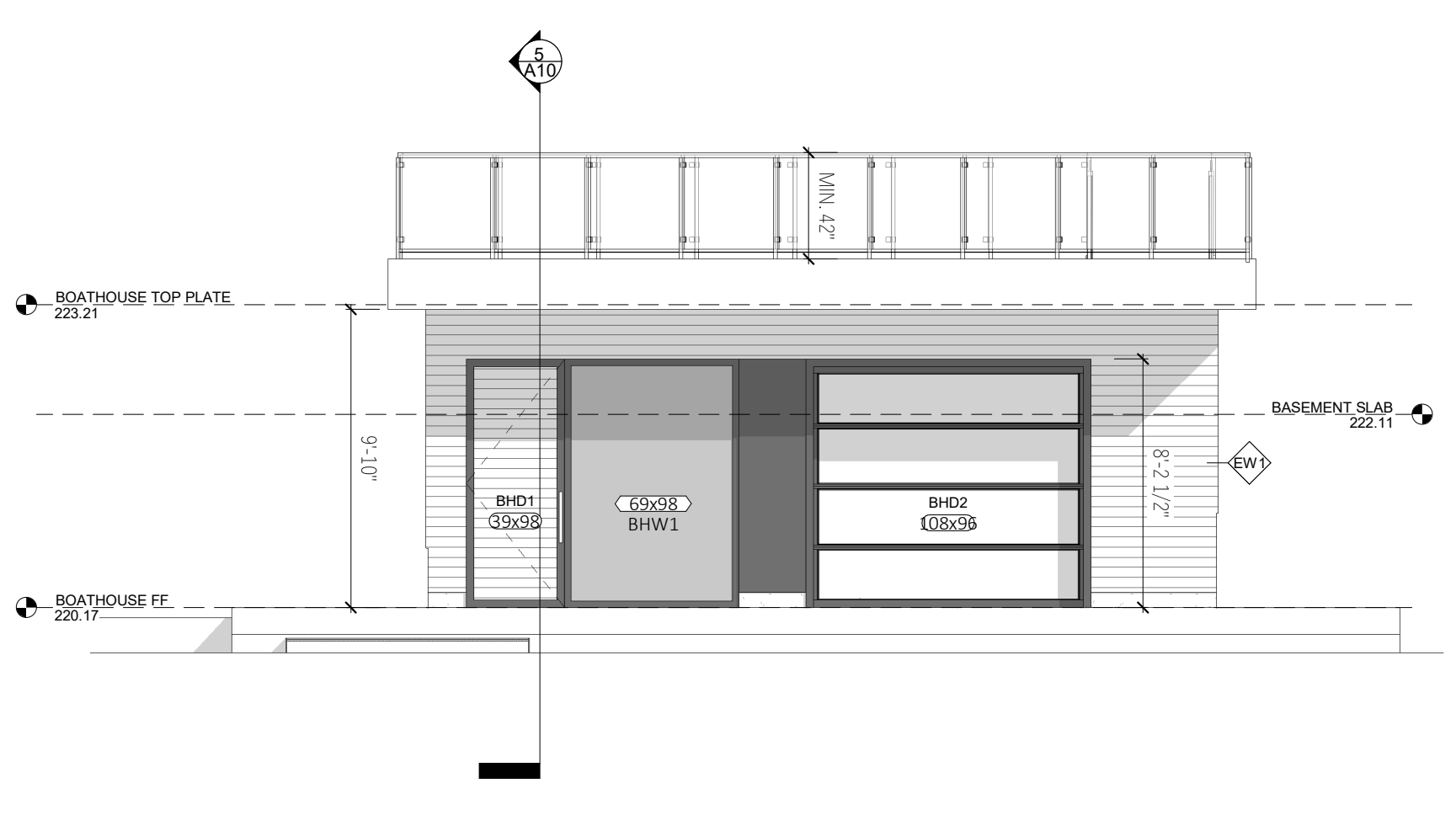
TRUE NORTH: DWG No:



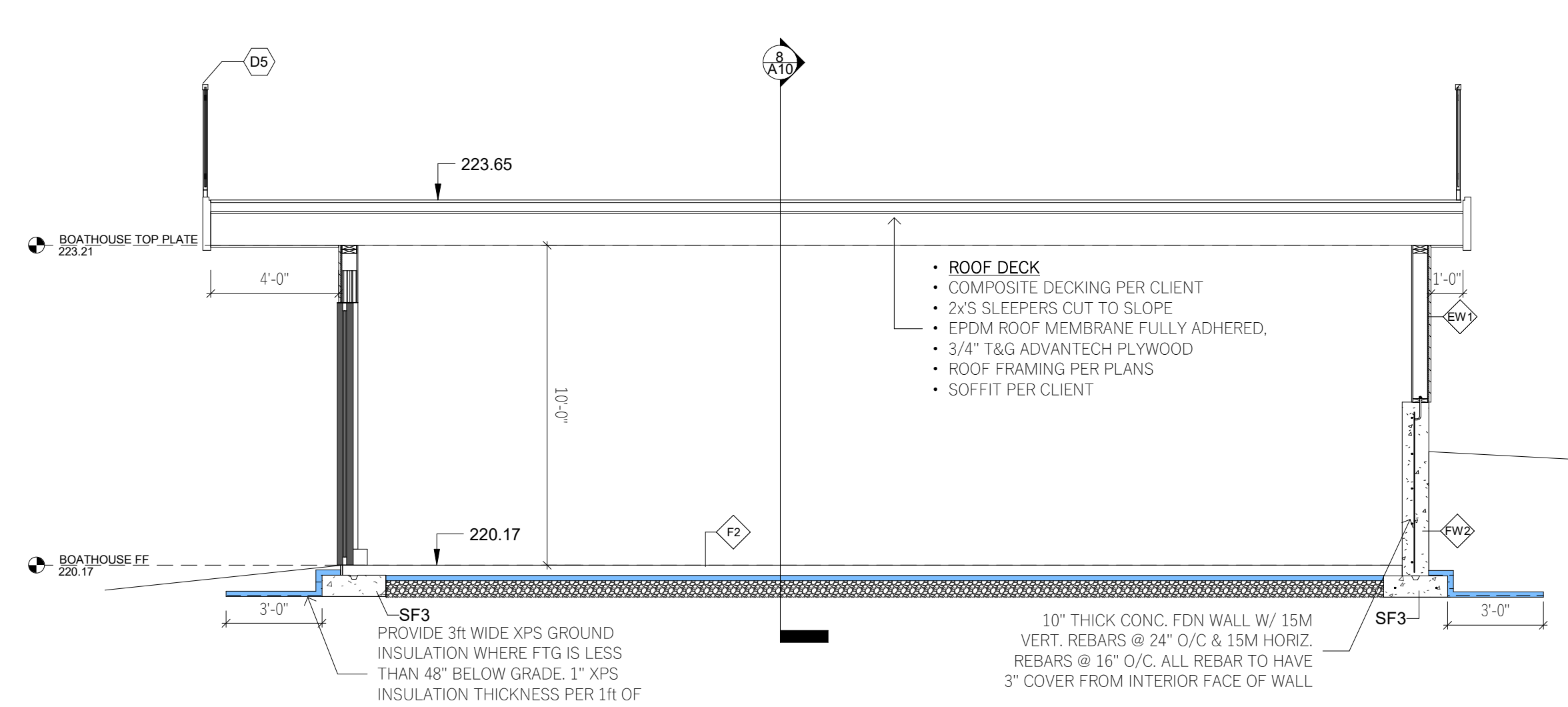
A10

CONSTRUCTION NOTES SHEET

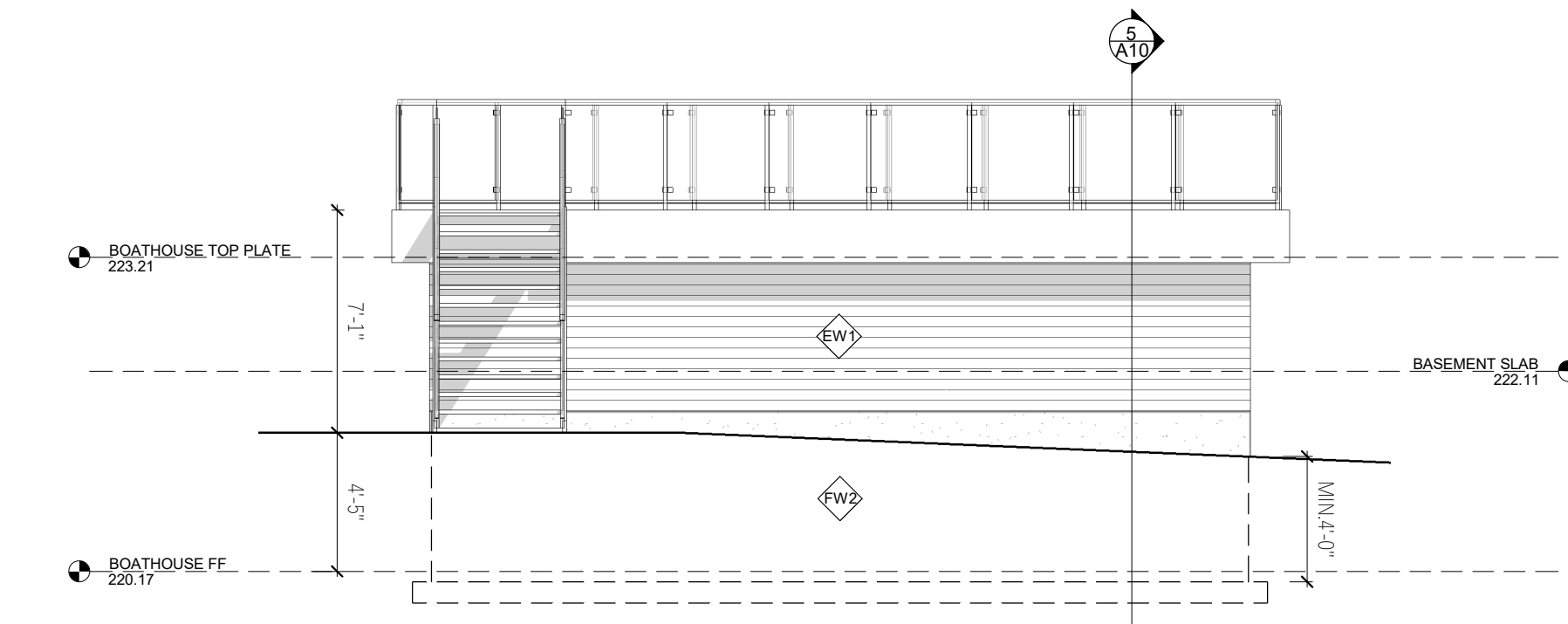
Key Value	Keynote Text
B5	FOR END LINTELS FULLY SUPPORTED BY WALLS PROVIDE MINIMUM 1-1/2" BEARING LENGTH IF SPAN IS LESS THAN 9'-10" AND MINIMUM 3" IF SPAN IS GREATER THAN 9'-10"
D1	MAIN STAIRS: (AS PER OBC 9.8) -MAX. RISE = 7-7/8" -MIN. RISE = 5" -MAX. RUN = 14" -MIN. RUN = 8-1/4" -MAX. TREAD = 14" -MIN. TREAD = 9-1/4" -MIN. NOSING = 1" -MIN. HEADROOM = 6'-5" -MIN. WIDTH = 2'-10"
D2	HANDRAIL / RAILING -HANDRAILS SHALL BE PROVIDED AS PER O.B.C. 9.8.7 -A CLEARANCE OF 2" SHALL BE PROVIDED BETWEEN HANDRAIL AND ANY SURFACE BEHIND IT O.B.C. 9.8.7.5 -AT LEAST ONE HANDRAIL SHALL BE CONTINUOUS THROUGHOUT THE LENGTH OF THE STAIR OR RAMP EXCEPT WHEN INTERRUPTED BY DOORWAYS, LANDINGS OR RENEW POSTS AT CHANGE DIRECTION -DESIGN AND ATTACHMENT OF HANDRAIL SHALL BE AS SPECIFIED ON THE O.B.C. 9.8.7.7 -RAIL @ LANDING = 2" 7" (UNLESS GUARDS ARE REQUIRED 9.8.7.4(3) & 9.8.8) -RAIL @ OPEN SIDE OF LANDING = 2" 9" -MIN. HEIGHT OF RAIL @ STAIR = 2" 10" -MAX. HEIGHT OF RAIL @ STAIR = 3" 2" -MIN. HEIGHT OF GUARD FOR FLIGHTS OF STEPS = 2" 11" -MIN. WIDTH = 2" 10" (BETWEEN WALL FACES) -MIN. WIDTH = 2" 11" (EXIT STAIRS, BETWEEN GUARDS)
D4	WOOD STEPS: -WOOD STEPS SHALL NOT BE IN DIRECT CONTACT WITH THE GROUND OR CONCRETE UNLESS SUITABLY TREATED WITH A WOOD PRESERVATIVE
D5	EXTERIOR GUARDS: -GUARDS REQUIRED AS PER O.B.C. 9.8.8.1 -GUARD TO BE 3'-6" HIGH FOR FLOOR TO FLOOR/GRADE HEIGHTS GREATER THAN 5'-11" -GUARDS TO BE 2'-11" FOR HEIGHTS LESS THAN 5'-11" -GUARDS TO BE 4'-11" WHERE ADJACENT GROUND LEVEL IS MORE THAN 32'-10" -PICKETS TO HAVE 4" MAX. SPACING -THE CONSTRUCTION OF GUARDS SHALL CONFORM TO THE LOADING CRITERIA IN O.B.C.- 4.1.5.14 OR TO SUPPLEMENTARY STANDARDS SB-7



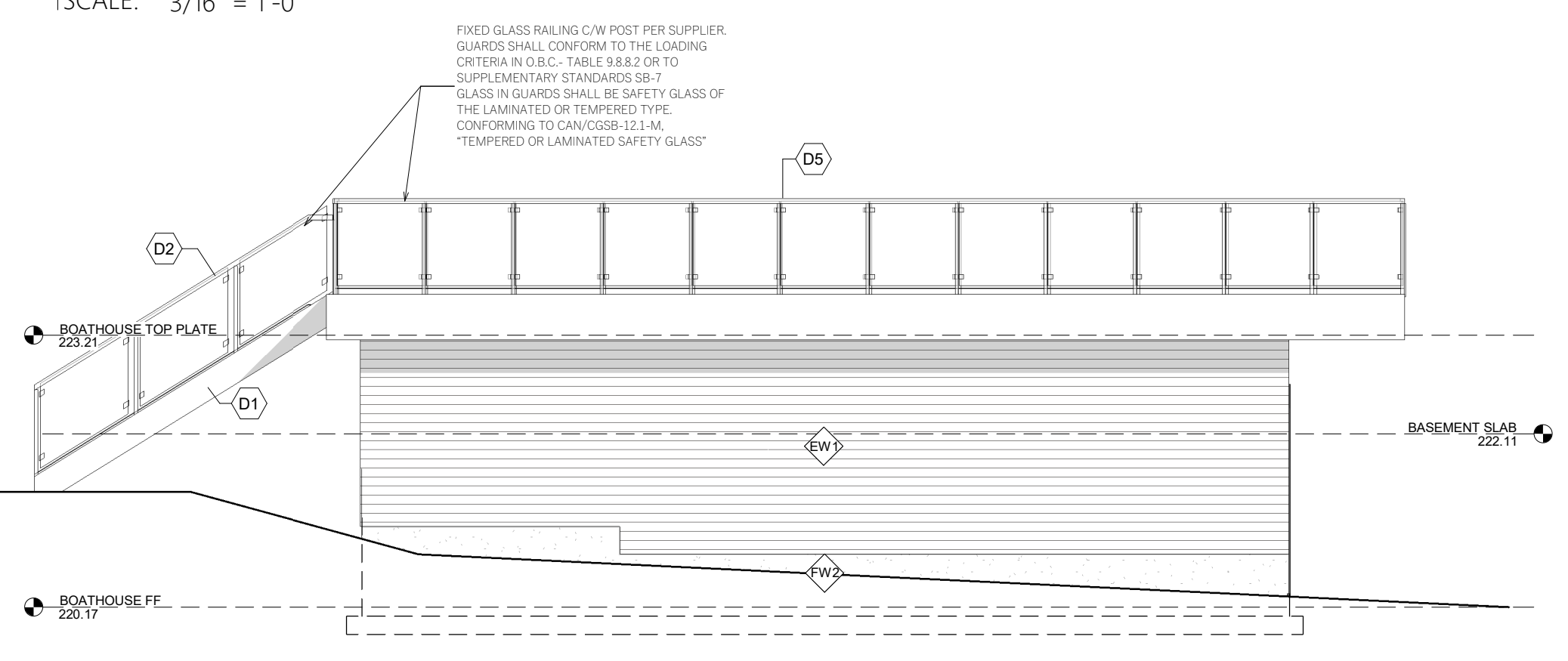
1 FRONT ELEVATION BH
SCALE: 3/16" = 1'-0"



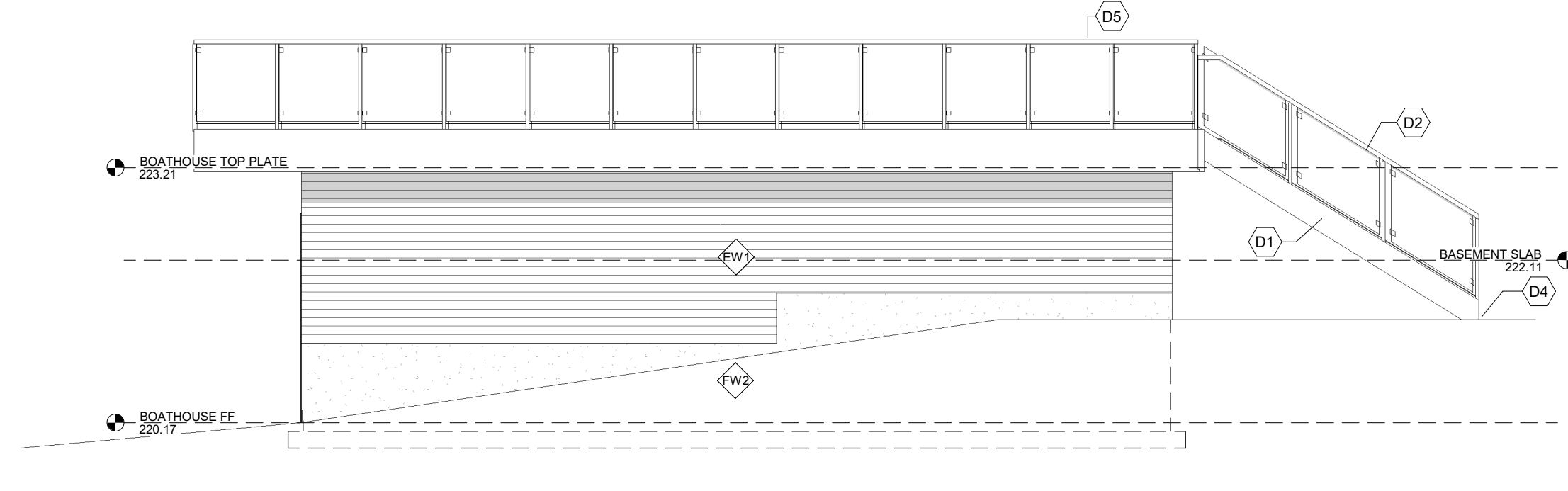
5 BOATHOUSE SECTION A
SCALE: 1/4" = 1'-0"



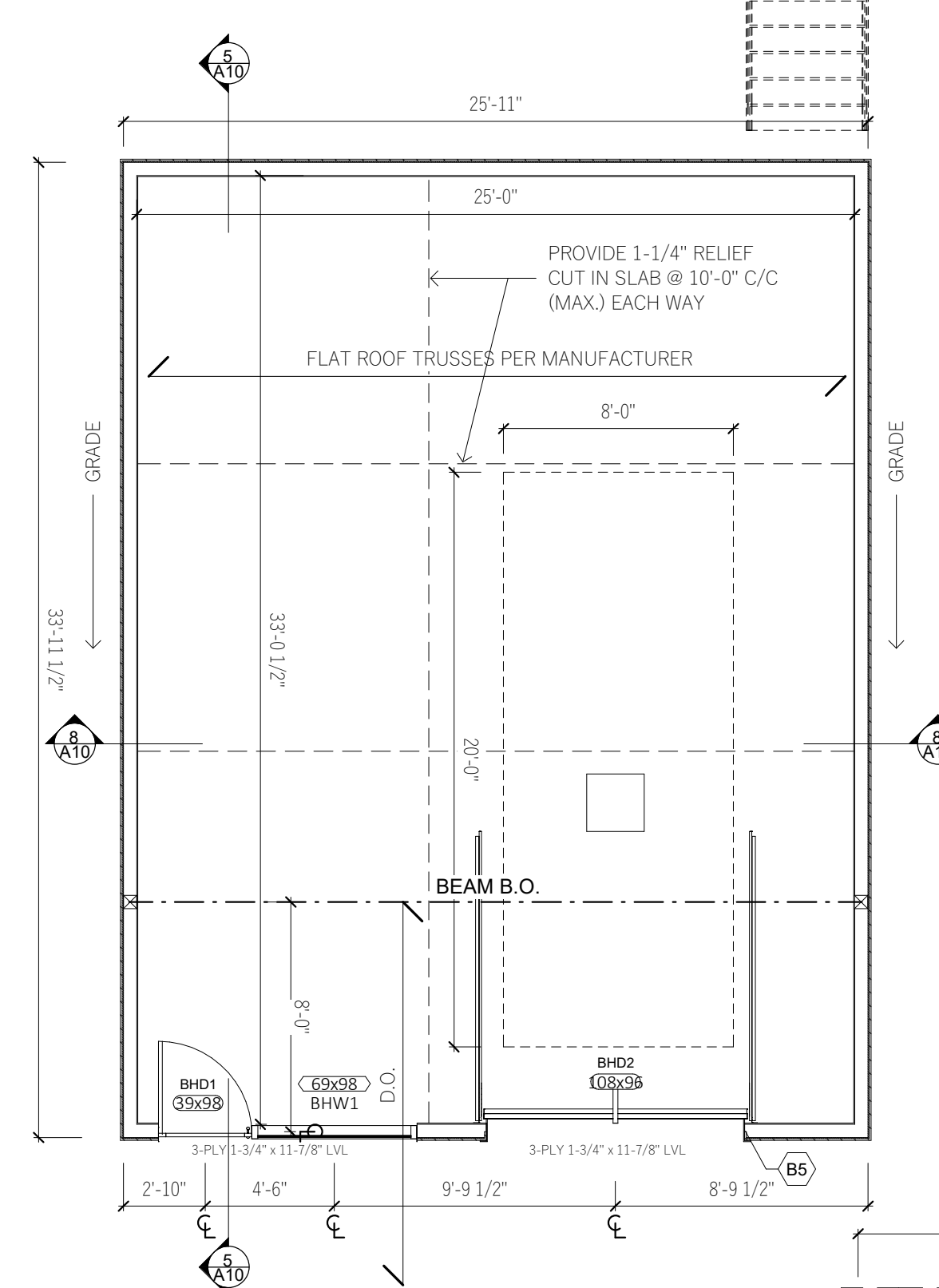
2 REAR ELEVATION BH
SCALE: 3/16" = 1'-0"



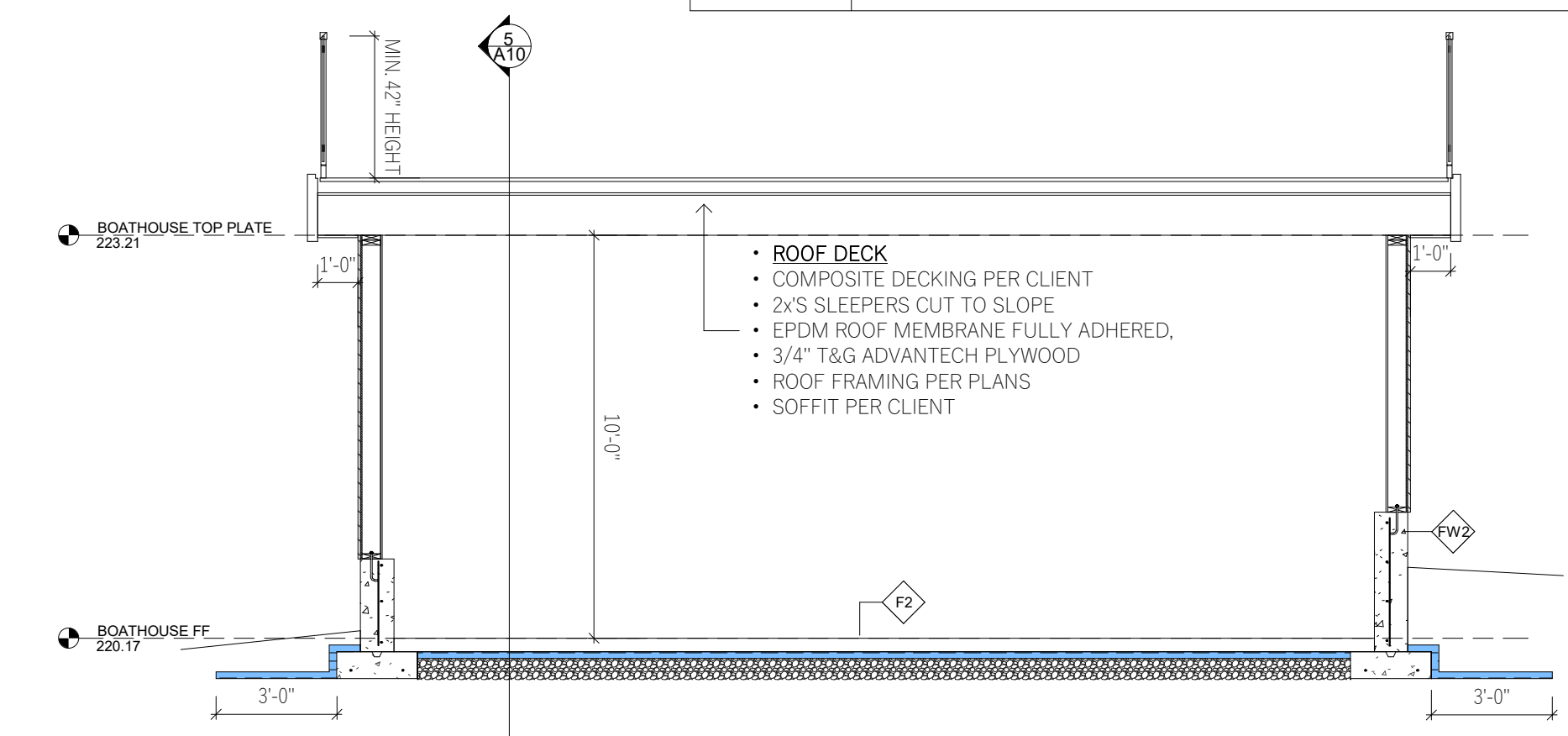
3 EAST ELEVATION BH
SCALE: 3/16" = 1'-0"



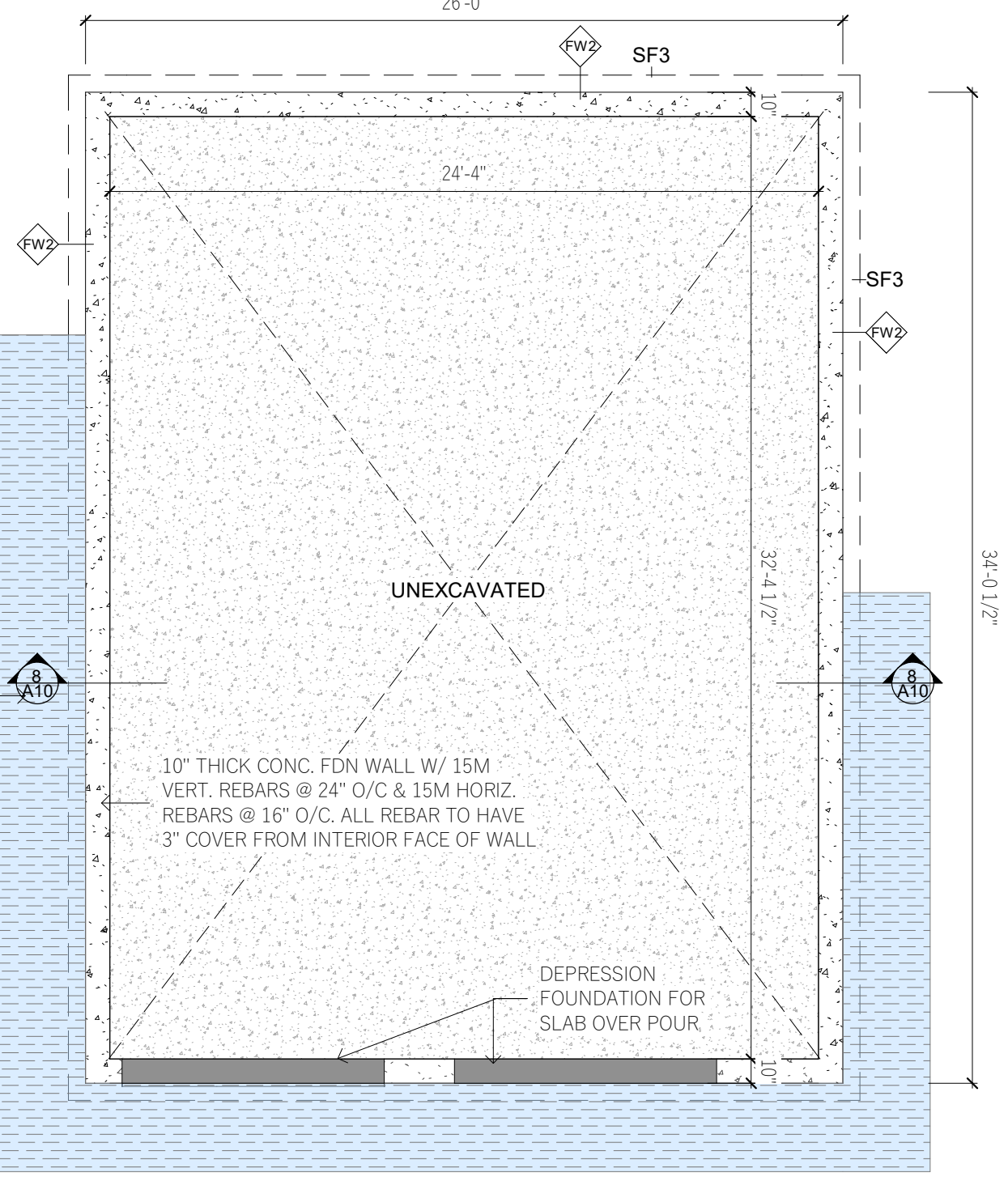
4 WEST ELEVATION BH
SCALE: 3/16" = 1'-0"



6 BOATHOUSE FLOOR PLAN
SCALE: 3/16" = 1'-0"



8 BOATHOUSE SECTION B
SCALE: 1/4" = 1'-0"



7 BOATHOUSE FOUNDATION PLAN
SCALE: 3/16" = 1'-0"

WALL ASSEMBLIES

- F1 EXTERIOR FOUNDATION WALL**
• 8" CONCRETE FOUNDATION WALL W/ CONTINUOUS KEYED CONC. FTG.
- F2 EXTERIOR FOUNDATION WALL**
• 10" CONCRETE FOUNDATION WALL W/ CONTINUOUS KEYED CONC. FTG.
- F3 EXTERIOR FOUNDATION WALL**
• 12" CONCRETE FOUNDATION WALL W/ CONTINUOUS KEYED CONC. FTG.
- F4 EXTERIOR FOUNDATION WALL**
• 16" CONCRETE FOUNDATION WALL W/ CONTINUOUS KEYED CONC. FTG.
- F5 EXTERIOR WOOD SIDING OR WOOD SHAKES**
• 1/2" DRYWALL
• 2x6 STUDS @ 16" O.C.
• 5-1/2" BATT TYPE INSULATION (R24)
• 1/2" PLYWOOD SHEATHING (EXTERIOR TYPE)
• 1-1/2" SM INSULATION (R7.5)
• 1x3 SPF#2 VERT. STRAPPING @ 2'-0" O.C.
• WOOD SIDING OR SHAKES PER PLAN PER CLIENT (NOTE: NO INSULATION REQUIRED FOR GARAGE & BOATHOUSE)
- F6 EXTERIOR STONE VENEER**
• 1/2" DRYWALL
• 2x6 STUDS @ 16" O.C.
• 5-1/2" BATT TYPE INSULATION (R24)
• 1/2" PLYWOOD SHEATHING (EXTERIOR TYPE)
• 1-1/2" SM INSULATION (R7.5)
• RAINSCREEN DRAINAGE MAT OR DELTA*-DRY VENTILATED RAINSCREEN
• 1" AIR SPACE
• NATURAL STONE VENEER (3-1/2" THICK) (NOTE: NO INSULATION REQUIRED FOR GARAGE & BOATHOUSE)
- F7 INTERIOR PARTITION 2x4**
• 1/2" DRYWALL ON BOTH SIDES
• 2"x4" SPF#2 STUDS @ 16" O.C.
- F8 INTERIOR PARTITION 2x6**
• 1/2" DRYWALL ON BOTH SIDES
• 2"x6" SPF#2 STUDS @ 16" O.C.
- F9 INTERIOR PARTITION - STONE VENEER**
• 2"x6" SPF#2 STUDS @ 12" O.C.
• 1/2" DRYWALL ONE SIDE & 3-1/2" MASONRY PER CLIENT OTHER SIDE
- F10 INTERIOR BASEMENT PARTITION**
• 2" RIGID INSULATION
• 2"x4" SPF#2 STUDS @ 16" O.C.
• 1/2" DRYWALL

FLOOR ASSEMBLIES

- F1 4" RADIANT BASEMENT SLAB - RADIANT**
• FIN FLR PER OWNER
• 1-1/2" SLURRY
• 4" 25 MPa CONCRETE SLAB ON,
• 2" RIGID INSULATION
• 2" CLEAR SAND ON (OPTIONAL)
• 6" COMPACTED "A" GRAVEL
- F2 5" GARAGE/BOATHOUSE CONCRETE SLAB**
• 5" POURED CONCRETE SLAB w/ 5%-7% AIR ENTRAINMENT, 35 MPa REINFORCE SLAB w/ 6x6-6/6 WWM AT SLAB MID DEPTH
• 2" XPS INSULATION (ONLY FOR BOATHOUSE)
• 6" COMPACTED "A" GRAVEL
- F3 TJI JOIST FLOOR**
• PREFINISHED FLOORING PER CLIENT ON,
• 1-1/2" LIGHTWEIGHT CONCRETE
• 3/4" T&G ADVANTECH SUBFLOOR GLUED-NAILED TO FLOOR JOISTS
• JOISTS FRAME PER PLANS
• FLOOR JOISTS TO HAVE MIN. 1-1/2" BEARING, FASTENED AT EACH END TO SILL PLATE OR HEADER.
- F4 5" EXTERIOR CONCRETE SLAB**
• 5" 32MPa CONC. SLAB, SMOOTH CREME FINISH (FLOATED) C/W ACRYLIC SEALER, REINFORCE SLAB w/ 6x6-6/6 WWM AT SLAB MID DEPTH
• 6" COMPACTED "A" GRAVEL
- F5 8" EXTERIOR CONCRETE SLAB**
• 8" 32MPa CONC. SLAB, SMOOTH CREME FINISH (FLOATED) C/W ACRYLIC SEALER, REINFORCE SLAB w/ 15M BARS @ 12" O.C. EACH WAY

ROOF ASSEMBLIES

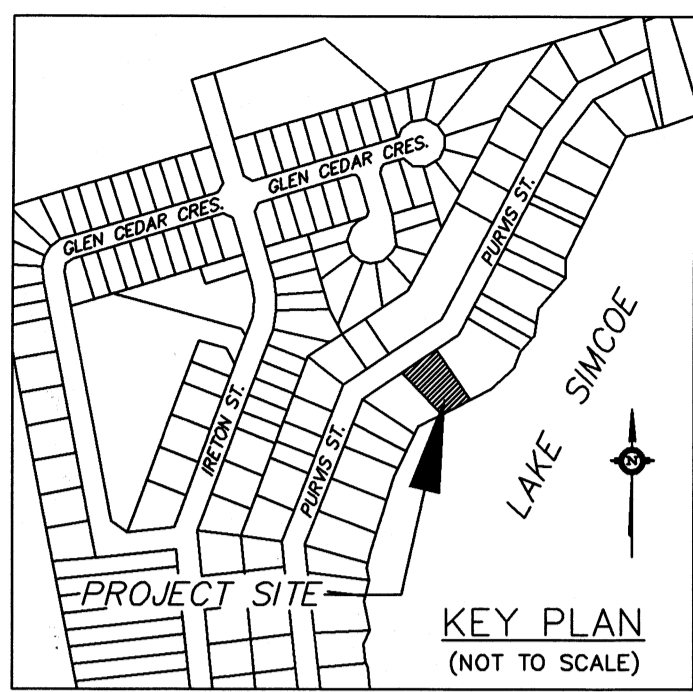
- R1 DWELLING ROOF**
• 2x6 GA. COLORED STEEL STANDING SEAM
• ROOFING UNDERLAYMENT
• T&G 1/2" PLYWOOD SHEATHING
• R60 MIN. ROCKSUL INSULATION OR SIMILAR
• APPROVED ROOF TRUSSES @ 24" O.C. MAX. BRACING AS PER MANUFACTURER
• EAVES PROTECTION TO EXTEND MIN. 2'-11" UP ROOF SURFACE TO LINE NOT LESS THAN 12" BEYOND INNER FACE OF EXTERIOR WALL.
• EAVESTROUGH ON ALUM. FASCIA AND VENTED SOFFIT.
• ATTIC VENTILATION: 1:300 OF INSULATED CEILING AREA WITH 50% AT EAVES
CEILING CONSTRUCTION:
• 1/2" INT. DRYWALL FIN.
• SUPPORTS PER PLANS (RAFTERS OR TRUSSES)
• CONT. 6MIL. VAPOUR BARRIER
- R2 FLAT ROOF:**
• 2 PLY MODIFIED BITUMEN LAYER
• 2% SLOPED INSULATION PER MANUFACTURER
• VAPOUR CONTROL LAYER
• 1/2" PLYWOOD SHEATHING
• FRAME AS PER PLANS
• R31 MIN. SPRAY FOAM INSULATION OR SIMILAR

PROVIDE 3R WIDE XPS GROUND INSULATION WHERE FTG IS LESS THAN 48" BELOW GRADE. 1" XPS INSULATION THICKNESS PER 1R OF GROUND COVER LESS THAN 4R

10" THICK CONC. FDN WALL W/ 15M VERT. REBARS @ 24" O/C & 15M HORIZ. REBARS @ 16" O/C. ALL REBAR TO HAVE 3" COVER FROM INTERIOR FACE OF WALL

DEPRESSION FOUNDATION FOR SLAB OVER POUR

PROVIDE 1-1/4" RELIEF CUT IN SLAB @ 10'-0" C/C (MAX.) EACH WAY
FLAT ROOF TRUSSES PER MANUFACTURER
8'-0" BEAM B.O.
3-PLY 1-3/4" x 11-7/8" LVL
3-PLY 1-3/4" x 11-7/8" LVL
D.O.

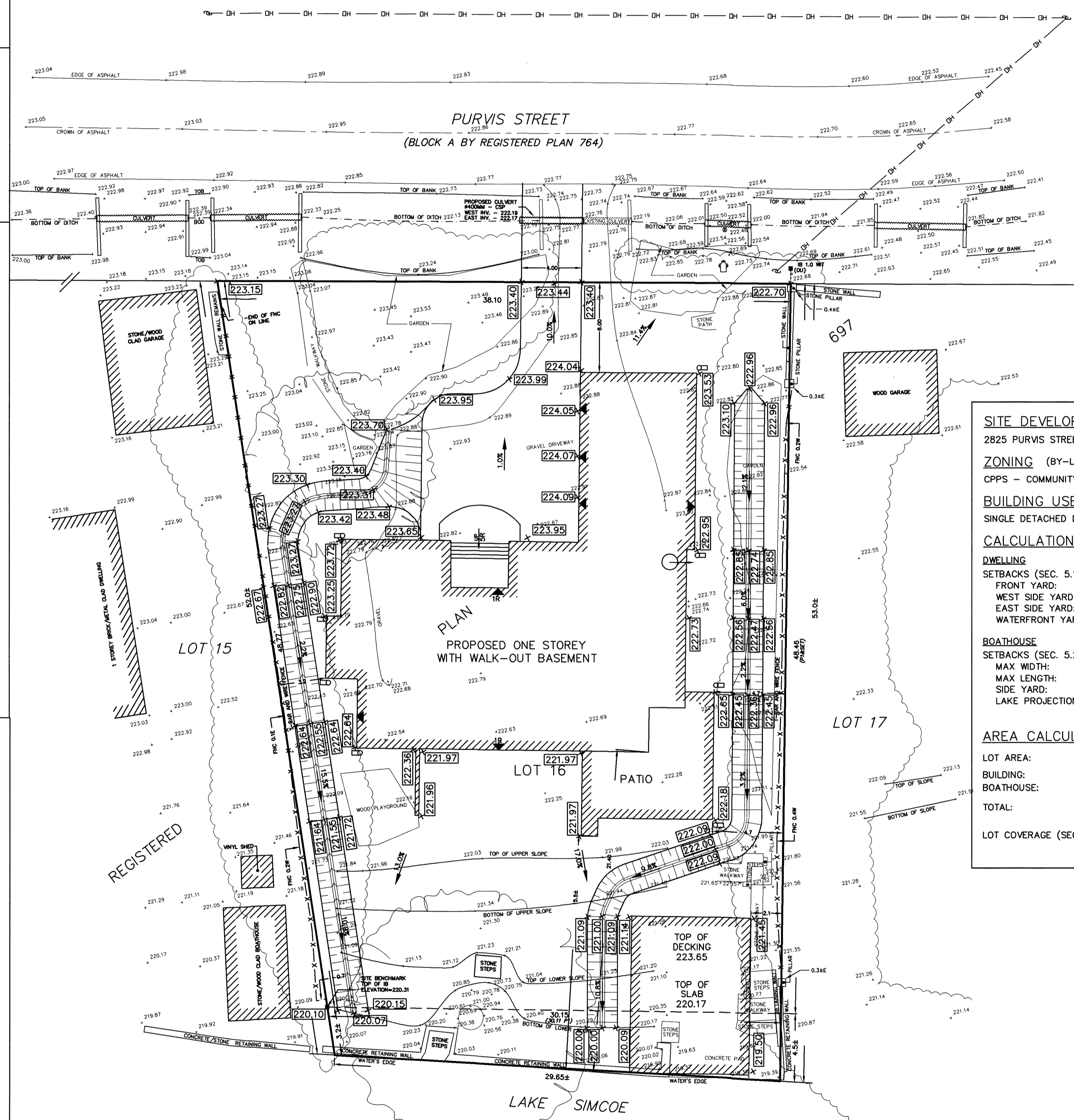
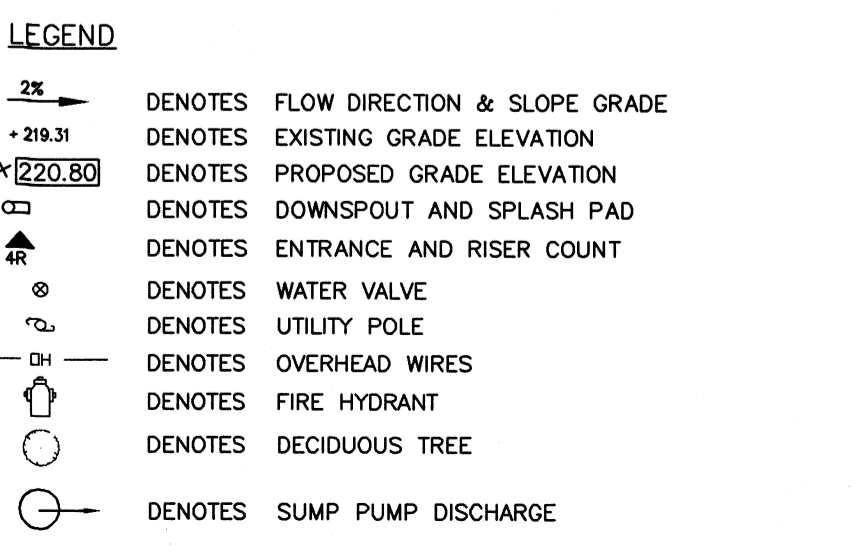
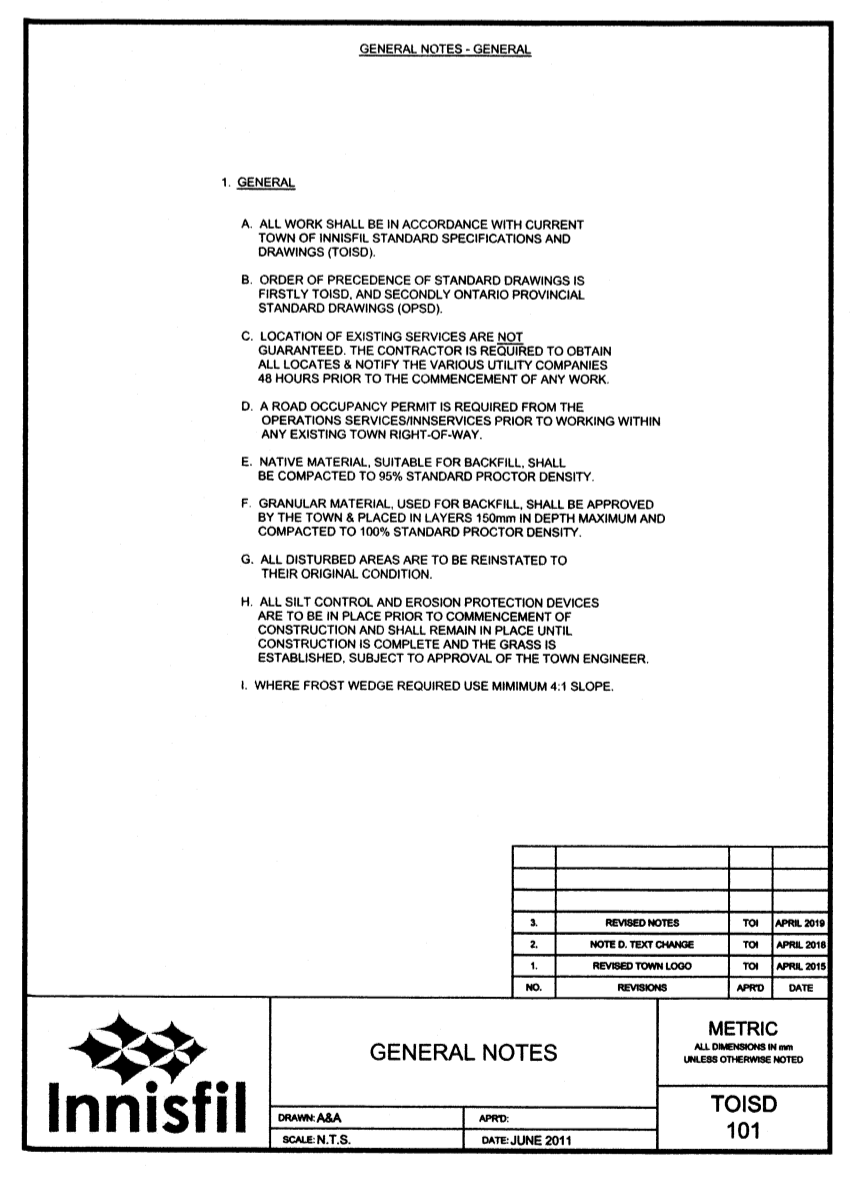
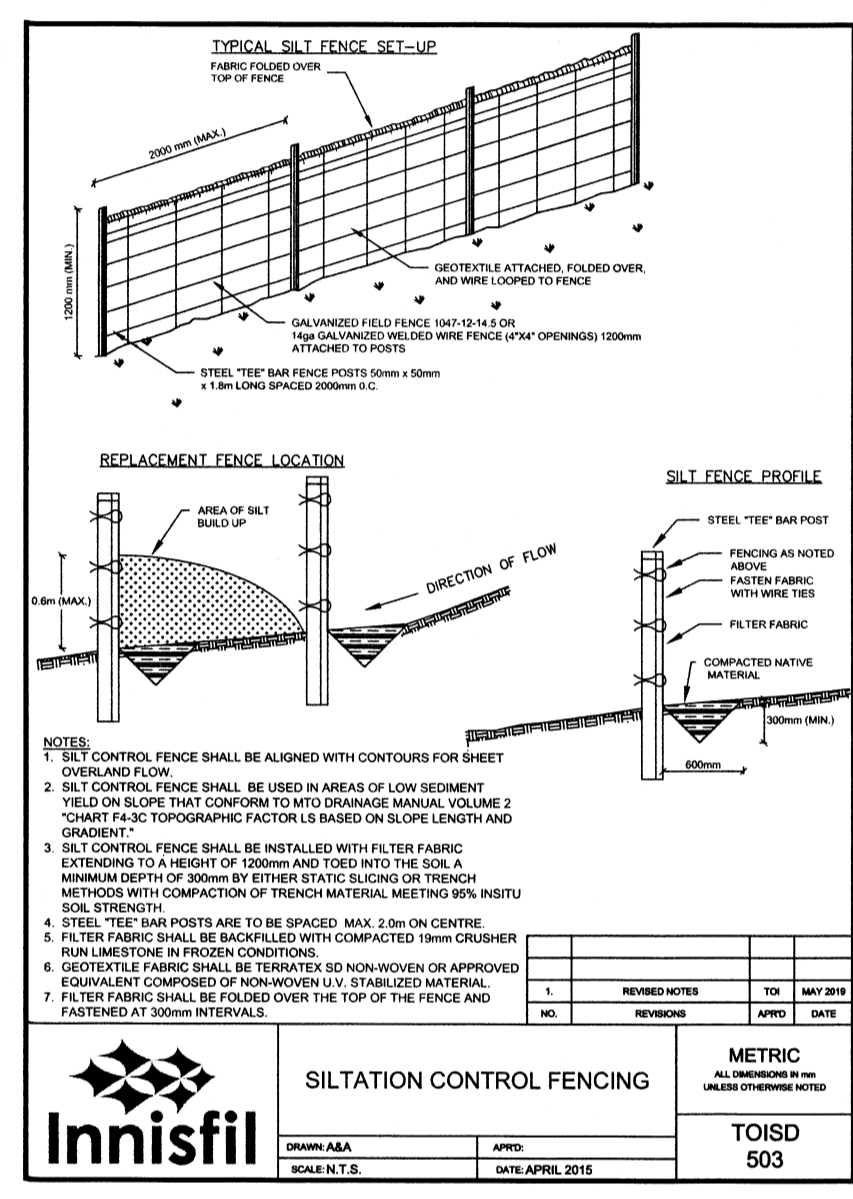


SITE GRADING PLAN OF
LOT 16
REGISTERED PLAN 697
 GEOGRAPHIC TOWNSHIP OF INNISFIL
 TOWN OF INNISFIL
 COUNTY OF SIMCOE

SCALE 1 : 200

 RUDY MAK SURVEYING LTD.

HOUSE ELEVATIONS	
FINISHED FIRST FLOOR	225.40
TOP OF FOUNDATION WALL	224.93
FINISHED BASEMENT FLOOR	222.11
UNDERSIDE OF FOOTING (FRONT)	221.81
UNDERSIDE OF FOOTING (REAR)	220.51



SITE DEVELOPMENT
 2825 PURVIS STREET
ZONING (BY-LAW 062-17)
 CPPS - COMMUNITY PLANNING PERMIT SYSTEM (SECTION 4)
BUILDING USE
 SINGLE DETACHED DWELLING

CALCULATIONS:

DWELLING

SETBACKS (SEC. 5.1.2(a)):	REQUIRED MIN.	PROPOSED
FRONT YARD:	7.0 M.	6.0 M.
WEST SIDE YARD:	3.0 M.	3.2 M.
EAST SIDE YARD:	3.0 M.	4.7 M.
WATERFRONT YARD (SOUTH):	15.0 M.	15.5 M.

BOATHOUSE

SETBACKS (SEC. 5.2.2):	REQUIRED MIN.	PROPOSED
MAX WIDTH:	7.0 M.	7.92 M.
MAX LENGTH:	12.0 M.	10.41 M.
SIDE YARD:	5.0 M.	2.1 M.
LAKE PROJECTION:	1.0 M.	0.0 M.

AREA CALCULATIONS:

LOT AREA:	1,763.9 SQ.M.
BUILDING:	441.3 SQ.M.
BOATHOUSE:	82.3 SQ.M.
TOTAL:	523.6 SQ.M.

LOT COVERAGE (SEC. 5.1.2):
 (29.6 %) (35% MAX)

BENCHMARK
 SITE BENCHMARK IS THE TOP OF THE IB NEAR THE SOUTHWEST CORNER OF LOT 16, HAVING AN ELEVATION OF 220.31.

ELEVATION NOTE
 ELEVATIONS ARE GEODETIC IN ORIGIN AND WERE DERIVED FROM OBSERVED REFERENCE POINTS (ORP) USING THE LEICA SMARTNET NETWORK (2010 EPOCH) AND ARE REFERRED TO THE CGVD28:1978 (HTV2.0) DATUM.

DECEMBER 4, 2020
 DATE

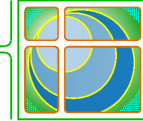
RUDY MAK
 ONTARIO LAND SURVEYOR

RUDY MAK SURVEYING LTD.
 ONTARIO LAND SURVEYORS

89 BIG BAY POINT ROAD
 BARRIE, ONTARIO L4N 8M5 (705) 722-3845
 E-MAIL MAIL@MAKSURVEYING.COM

REVISION	BY	DATE
FIRST ISSUE	AP	SEPT 3, 2020
ADJUST GRADES AT REAR W/O AND SIDE YARDS	AP	SEPT 3, 2020
CHANGES AS PER LSRCA COMMENTS	AP	DEC 4, 2020

DRAWN BY: AP CHECK BY: RM FILE No.



ATTACHMENT

DATE: April 14, 2021
TO: Mr. Cole Leibel, Big East Construction Inc.
FROM: Marc Cote, ISA ON-2623A
SUBJECT: Proposed Residential Development for 2825 Purvis Street
PURPOSE: For Town of Innisfil as Attachment of Tree Inventory/Preservation Plan.

ARBORIST REPORT

JDB Associates Ltd. was retained to complete an Arborist Report, Tree Inventory/Preservation Plan and a Shoreline Restoration Plan for a proposed dwelling located at 2825 Purvis Street, Town of Innisfil.

In January 2021, the trees on the subject site were inventoried, located, and evaluated to determine their opportunity for preservation.

Notwithstanding the recommendations and conclusions made in this report, it must be realized that trees are living organisms and their health and vigor constantly change over time. They are not immune to changes in site conditions or seasonal variations in the weather.

Scope of Work

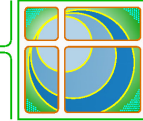
This report provides a general assessment of:

- 33 trees or tree groupings located on the subject property
- 22 trees or tree groupings located on a shared boundary or adjacent properties

And, justification of the Shoreline Restoration Plan provided.

Summary

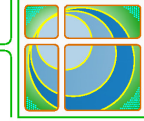
- The dominant species identified on site is Eastern White Cedar (+/-50%) which has been used primarily for hedging along property boundaries. Vegetation on site does not appear to be natural and has been planted by a former owner of the property. Other trees that were identified include: maples, spruces, pines, firs, birch, a trembling aspen, and a showy-mountain ash, which are all shown on TP-1.
- Most of the trees are mature, with a DBH of 15-35cm, and are in fair condition. Some trees on site which have been designated as having poor health show evidence of borer bugs or large woodpecker holes.



- Based on the tree health and the compensation ratio, set out by the Town of Innisfil, a total of 14 replacement trees are required for compensation. Refer to TP-2 for the compensation planting plan.
- Tree #38 is a very large old tree in fair/poor condition which is leaning towards the water and shows evidence of major pruning in the past. Tree preservation fencing is to be located as per TP-1 and no hoarding of site materials is to take place under its canopy limits to preserve this trees health and longevity.
- All shared boundary trees or trees located on adjacent properties have been protected to the best efforts of JDB. Minor grading is proposed along the east and west property lines under existing trees canopies. At most 6" of fill is being proposed which could have an impact on the trees health and vigor. Keeping in mind, trees are living organisms and their health and vigor constantly change over time. They are not immune to changes in site conditions, which is why they may be subject to impacts from the minor addition of fill.

Methodology

- The trees were assessed with guidelines established by the Town of Innisfil. The health assessments were performed without excavation or internal examination such as coring or drilling.
- The following information was obtained for the inventoried trees:
 - tree species;
 - size range diameter at breast height (DBH);
 - average canopy height;
 - average canopy diameter;
 - overall general tree condition (structure and vigor):
 1. good – dead branches less than 10%; signs of good compartmentalization of any wounds, no structural defects;
 2. fair – 10-30% dead branches, minor wounds of some concern, minor structural defects;
 3. poor – more than 30% dead branches, weak compartmentalization, major structural defects;
- The location of the trees has been triangulated on site.
- *The tree compensation for the trees to be removed* has been calculated as per the Town of Innisfil policy:
 - 1:1 to 4:1 based on the removed tree DBH;
 - tree health coefficients (0.5 poor/ 0.75 fair/ 1 good)



Details of Findings

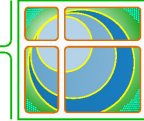
- A summary of the vegetation and tree data is provided in the attached Tree Inventory Plan (TP-1).
- The Tree inventory/ preservation plan has been completed based on the proposed building provided by the client and coordinated with the engineer's proposed grading plan.
- A compensation planting plan has been included as per the Town of Innisfil policy.

Restoration

- The Shoreline Restoration Plan has been prepared as per section 4.23 of the Shoreline Bylaw. The Bylaw requires the restoration of 75% of the waterfront yard to be planted with native plant material.
- The Restoration Plan has been prepared as per these requirements from the Town of Innisfil. All proposed vegetation is native to the area of Simcoe County. Refer to LP-1 for plant species and calculations. Native seed mixture will be applied to all areas marked for restoration. The areas marked as un-naturalized include the proposed patio along the rear of the house and walking paths throughout the waterfront yard, which are to remain as sod.
- As stated in the notes provided on TP-3, grading changes under the canopy of a tree can have negative impacts to the tree's health. This is because of the trees feeder roots being located approximately in the first 12" of soil. This includes the addition or subtraction of fill, as well as the stripping of sod. As a result, the Restoration Plan identifies that all areas marked as a tree preservation zone, located in the waterfront yard, should receive the treatment of Simcoe County native seed mixture but the grass should not be stripped in these areas to protect the trees and ensure no damage occurs to their roots. The tree of upmost concern is identified as #38 on the tree inventory plan and can be seen in Figure 1. An example of Simcoe County native seed mixture has been provided on LP-1.



Figure 1: Tree #38



- Due to setback encroachment in the west side yard, the Town of Innisfil has requested that plantings be installed to ensure a sufficient landscape buffer has been provided between the subject properties and their neighbors. Through the tree preservation process the majority of the trees existing along the side yards have been retained. Figures 2-3 show the state of the west side yard and Figure 4 shows the east. The Restoration Plan has identified a few areas where there may be gaps in the vegetative buffer and where restoration plantings shall occur. As noted on LP-1, these areas are only approximate and where they are planted is up to the discretion of the contractor.



Figures 2 & 3: Vegetative state of the west side yard



Figure 4: Vegetative state of the east side yard

Limits

Unless expressed otherwise information contained in this report covers only those items that were examined and reflects the condition of those items at the time of inspection, and the inspection is limited to visual examination of accessible items without further dissection, excavation, probing, or coring.

Loss or alteration of any part of a report invalidates the entire report.

There is no warranty or guarantee expressed or implied that problems or deficiencies of the trees in question may not arise in the future.

The report and conclusions expressed herein represent the opinion of *JDB Associates Ltd.* Our fee is no way contingent upon any specified value, a result or occurrence of a subsequent event, or upon any finding to be reported.

Marc Cote

Landscape Architectural Intern, Certified Arborist

BLA, ISA ON-2623A



CODE	QNTY	COMMON NAME	BOTANICAL NAME	SIZE	FORM	SPACING	DETAIL	NOTES
NATIVE TREES								
Ab	4	BALSAM FIR	<i>Abies balsamea</i>	200cm	WB	2m o/c	TOISD 902	Full form / Do not cut leader
To*	6	EASTERN WHITE CEDAR	<i>Thuja occidentalis</i>	200cm	WB	1.5m o/c	TOISD 902	Full form / Do not cut leader
NATIVE SHRUBS								
Aa	2	SASKATOON BERRY	<i>Amelanchier alnifolia</i>	2 gal	Pot	2m o/c	904	Full form
Am	11	BLACK CHOKEBERRY	<i>Aronia melanocarpa</i>	2 gal	Pot	1m o/c	904	Full form
Df	11	SHRUBBY CINQUEFOIL	<i>Dasiphora fruticosa</i>	2 gal	Pot	1m o/c	904	Full form / Do not cut leader
Dl	12	BUSH HONEY-SUCKLE	<i>Dierwilla lonicera</i>	2 gal	Pot	1m o/c	904	Full form / Do not cut leader
Hk	12	POT O' GOLD	<i>Hypericum kalimianum</i>	2 gal	Pot	1m o/c	904	Full form
NATIVE PERENNIALS								
Cp	16	PLAIN-TAILED SEDGE	<i>Carex plantaginea</i>	1 gal	Pot	0.5m o/c	904	Full form
Sn	14	INDIAN GRASS	<i>Sorghastrum nutans</i>	1 gal	Pot	0.6m o/c	904	Full form
Ss	25	LITTLE BLUESTEM	<i>Schizachyrium scoparium</i>	1 gal	Pot	0.7m o/c	904	Full form
Rh	44	BLACK EYED SUSAN	<i>Rudbeckia hirta</i>	1 gal	pot	0.6m o/c	904	Full form

PLANT LIST (RESTORATION PLANTINGS)

REFER TO PLANTING NOTES AND DETAILS ON TP-3
NOTE: ALL PLANTING WITH A LABEL CONTAINING ** SHALL BE HAND DUG TO MINIMIZE DISTURBANCE TO EXISTING VEGETATION.

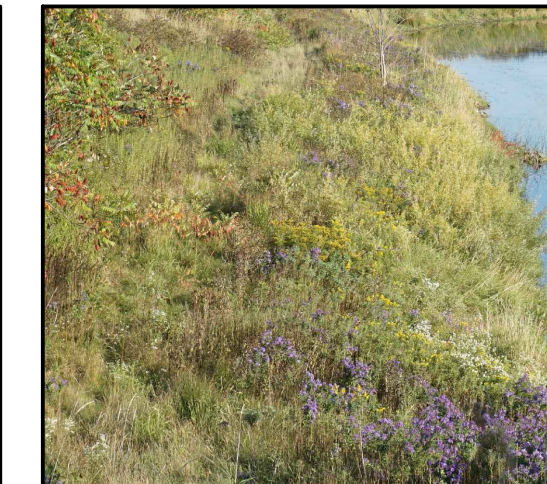
AREA CALCULATIONS

TOTAL WATER FRONT YARD - 521 m²
MINIMUM RESTORATION AREA - 391 m² (75%)
MAXIMUM UNNATURAL AREA - 130 m² (25%)

UN-NATURALIZED AREAS

PATIO = 48m²
SODDED PATHS = 82m²
TOTAL AREA LEFT UNNATURAL - 130m²

RESTORATION CALCULATION



EXAMPLE OF SIMCOE COUNTY NATIVE SEED MIXTURE AFTER YEARS OF GROWTH

NATIVE SEEDING ZONE

NO-MOW ZONE
APPROXIMATELY 320 sqm (+10%) (+/- MEASUREMENTS TO BE TAKEN ON SITE)

SIMCOE COUNTY NATIVE UPLAND MIXTURE

- 2% NEW ENGLAND ASTER (*Aster novae-angliae*)
- 12% BLACK EYED SUSAN (*Rudbeckia hirta*)
- 20% SAND DROPSIDE (*Sporobolus crylandicus*)
- 20% CANADA WILD RYE (*Elymus canadensis*)
- 4% CANADA GOLDEN ROD (*Solidago canadensis*)
- 5% COMMON MILKWEED (*Asclepias syriaca*)
- 1% WILD BERGAMONT (*Monarda fistulosa*)
- 1% SMOOTH BLUE ASTER (*Aster laevis*)
- 15% LITTLE BLUE STEM (*Andropogon scoparius*)
- 20% INDIANGRASS (*Sorghastrum nutans*)

SEEDING RATE - 30kg PER HECTARE
SUPPLIED BY - OSC SEEDS 1-519-886-0057
ANNUAL RYE NURSE CROP TO BE APPLIED AT TIME OF NATIVE UPLAND PLANTING MIXTURE AT A RATE OF 12kg PER HECTARE. REFER TO TERRASEEDING NOTES AND MULCH APPLICATION SPECIFICATIONS IN THIS BOX FOR FURTHER DETAILS.

TERRASEEDING APPLICATION SPECIFICATIONS

ECOBANKET OR TERRASEEDING TACTIFIER SHALL BE APPLIED AT A THICKNESS OF 50mm. FOR NOTES AND SPECS REFER TO NEXT PAGE.

TOP SOIL:

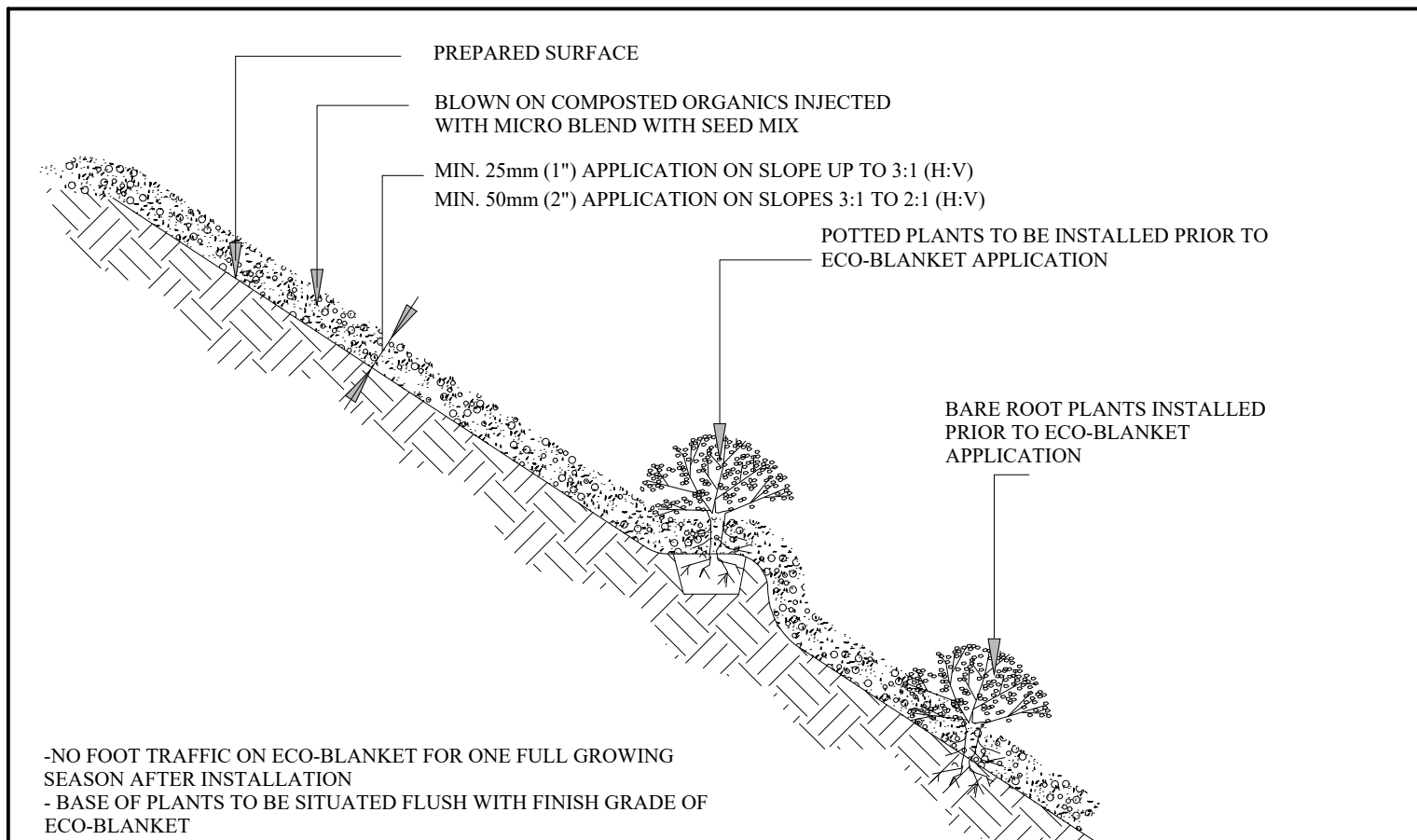
TOPSOIL SHALL BE PROVIDED TO A MINIMUM DEPTH OF 0.45m FOR TERRESTRIAL AREAS. TOPSOIL QUALITY SHALL BE AS PER OPSS 570.

SEEDING, TOP SOIL, AND LIVE STAKE NOTES

LEGEND

- EXISTING TREES TO BE PRESERVED. REFER TO TP-1
- COMPENSATION PLANTINGS AS PER TREE REMOVAL. REFER TO TP-2
- PROPOSED NATIVE TREES
- PROPOSED NATIVE SHRUBS
- PROPOSED NATIVE PERENNIALS
- PROPOSED NATIVE GRASSES
- WALKING PATHS TO REMAIN AS SOD
- TREE PRESERVATION NATURALIZED ZONE. THE SOD IN THESE AREAS IS NOT TO BE STRIPPED AND NATIVE SEED MIX IS TO BE APPLIED.
- RESTORATION PLANTING AREA WITH NATIVE SEED MIX

NOTE:
ALL AREAS MARKED AS TREE PRESERVATION ZONES ON TP-1 ARE TO BE SEEDED WITH SIMCOE COUNTY NATIVE SEED MIXTURE AND OTHERWISE LEFT UNDISTURBED (NO SOD STRIPPING). THESE AREAS WILL BE LEFT AS NATURALIZED NO MOW ZONES ALONG WITH THE REST OF THE RESTORATION PLANTING AREAS.



1.0 Description:
This work shall consist of furnishing, constructing and maintaining an EcoBlanket to Rexius specifications. EcoBlanket is a ground cover (surface blanket) of the Rexius specified compost/mulch (Erosion Blend) combined with a special additive (Microblend) constructed with a pneumatic blower to control and reduce soil erosion. An EcoBlanket stabilizes the soil, prevents splash, sheet and rill erosion, and removes suspended soil particles and contaminants from water moving off the site and into adjacent waterways or storm water conveyance systems.
1.1. This EcoBlanket must be added and constructed at the top of the slope in parallel intervals down the profile of the slope (6 metres to 9 metres apart) if necessary. (The Engineer/Landscape Architect shall specify berm requirements).
1.2. Materials must be applied using a pneumatic blower unit complete with a supplemental granular injection system capable of installing at least 15 cubic metres per hour.
1.3. Contractor must have at least 3 years of proven experience in successfully installing EcoBlankets/ETM.

2.0 Material:
The EcoBlanket filtering material consists of the Rexius Erosion Blend of compost and mulch materials, according to the Rexius particle sizing specifications, in combination with the Rexius Microblend additive.
2.1. Particle size must meet exact specifications of the Rexius EcoBlanket Erosion Blend material supplied by a certified supplier/installer.
2.2. The compost portion of EcoBlanket shall be derived from well-decomposed organic matter source produced by controlled aerobic (biological) decomposition that has been sanitized through the generation of heat and stabilized to the point that it is appropriate for this particular application. Compost material shall be processed through proper thermophilic composting, meeting the Canadian Council of Ministers of the Environment's (CCME) definition for a "process to further reduce pathogens" (PRP). The compost portion shall meet the chemical, physical and biological properties (as outlined in the chart on reverse). These and all other required properties for the performance of the EcoBlanket are included in the Rexius EcoBlanket Manufacturer Guidelines followed by certified suppliers and installers.
2.3. Rexius Microblend additive shall be injected into Erosion Blend material at time of EcoBlanket construction.
2.4. A proof of certification as an EcoBlanket supplier shall be submitted to the Landscape Architect for approval prior to installation. Test results for EcoBlanket performance shall be made available upon request.
2.5. Where seeding or planting is planned, Erosion Blend material must meet Rexius' minimum specification requirements for seeding purposes.

3.0 Construction:
3.1. The EcoBlanket shall be placed as shown on the plans or as directed by the Landscape Architect.
3.2. On areas with slopes 3:1 to 2:1 (H:V) the EcoBlanket shall be uniformly applied directly at the soil surface with a pneumatic blower as specified by Rexius. EcoBlanket shall be applied at a depth of 50 mm minimum and approximately 90 cm over the top of the slope, or overlap it into existing vegetation. On areas with slopes up to 3:1(H:V) the EcoBlanket shall be applied at a depth of 25mm minimum. In extreme conditions and where specified by the Engineer/Landscape Architect, EcoBlanks shall be added and constructed at the top of the slope in parallel intervals down the profile of the slope (6 metres to 9 metres apart) if necessary. (The Engineer/Landscape Architect shall specify berm requirements).
3.3. Rexius Microblend shall be applied/injected at a minimum rate of 615 kgs. per hectare (or as specified by Rexius), to be confirmed by inspector/project manager.
3.4. EcoBlanket application depth may be modified based on specific site (e.g., soil characteristics, existing vegetation) and climatic conditions, as well as particular project related requirements. The severity of slope grade, as well as slope length will also influence the addition of EcoBlanks and number of EcoBerm placements in combination with the EcoBlanket.
3.5. If temporary or long-term vegetation is required, Erosion Blend material may be injected with seed during application. The Engineer/Landscape Architect shall specify seed requirements and the compost/mulch component shall abide by the minimum standards set by Rexius for seeding.
3.6. Where vegetation is to be established, slightly roughen (scarify) slopes and remove large clods, rocks, stumps, roots larger than 50 mm in diameter and debris on slopes. This soil preparation step may be eliminated where approved by the Landscape Architect/Designer, or where seeding or planting is not planned. Where practical, track (compact) perpendicular to contour on the slope using a bulldozer before applying EcoBlanket/injected with seed.
3.7. Do not use EcoBlanks in areas of concentrated flow (i.e. ditches, streams, etc.)
3.8. Unless otherwise allowed by Landscape Architect, seeding shall be performed within the local region's seeding deadlines.

4.0 Maintenance:
The Contractor shall maintain the EcoBlanket in a functional condition at all times. Contractor shall make periodic inspections of the EcoBlanket for effectiveness and shall immediately correct all deficiencies. Where deficiencies exist, additional EcoBlanket material shall be installed immediately to required depth.

5.0 Method of Measurement:
EcoBlanket shall be measured by the square metre, complete in place.

6.0 Performance:
6.1. Place EcoBlanks on denuded areas immediately or as directed by Landscape Architect. EcoBlanks and/or temporary or permanent vegetation shall be applied/established when necessary, along with other appropriate structural measures and controls, for additional erosion and sediment control.
6.2. The work specified in this Section consists of designing, providing, and maintaining erosion and sedimentation controls as necessary. All existing and foreseeable site conditions that affect the work inside and outside the site limits must be acknowledged as the Contractor's responsibility.
6.3. Contractor is responsible for providing effective sediment control measures based on performance. Contractor may, with approval from the Landscape Architect, work outside the minimum construction requirements to establish a working erosion control system.

Parameters:
1.4 Reported as (units of measure) EcoBlanket to be Vegetated EcoBlanket to be left Un-vegetated
pH2 pH units 5.0 - 8.5 N/A
Soluble Salt Concentration (electrical conductivity) ds/m (mmhos/cm) Maximum 5 N/A
Stability3 Carbon Dioxide Evolution Rate mg CO2-C per g OM per day < 8 N/A
Physical Contaminants (man-made inerts) % dry weight basis < 1 < 1

1. Recommended test methodologies are provided in Test Methods for the Examination of Composting and Compost (SCC through BNO)
2. Each specific plant species requires a specific pH range. Each plant also has a salinity tolerance rating, and maximum tolerable quantities are known. When specifying the establishment of any plant or turf species, it is important to understand their pH and soluble salt requirements, and how they relate to the compost in use.
3. Stability/Maturity rating is an area of compost science that is still evolving, and as such, other various test methods could be considered. Also, never base compost quality conclusions on the result of a single stability/maturity test.
4. Landscape Architect may modify the allowable compost specification ranges based on specific field conditions and plant requirements.

ECOBANKET SPECIFICATIONS AND DETAIL

DETAIL ADAPTED FROM LANDSOURCE ORGANIX EcoBlanket (tel.:1-877-548-8558)



GENERAL NOTES

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IT IS THE RESPONSIBILITY OF THE PERSON OR PERSONS RESPONSIBLE FOR THE CONSTRUCTED WORKS TO NOTIFY THE LANDSCAPE ARCHITECT, A MINIMUM OF 48 HOURS PRIOR, FOR ANY REQUIRED INSPECTIONS AND SIGN OFFS.

SCHEDULED MEETINGS SHALL TAKE PLACE AT THE CLOSEST MUTUALLY CONVENIENT TIME. LAYOUT AND INSTALLATION OF PROTECTIVE HOARDING WITHOUT THE PRESENCE OF THE LANDSCAPE ARCHITECT WILL BE THE CONTRACTOR'S RESPONSIBILITY. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO HAVE TREE PRESERVATION FENCE RELOCATED WHETHER INSTALLED OR NOT AT THE COST OF THE CONTRACTOR IN THE EVENT THE LANDSCAPE ARCHITECT WAS NOT PRESENT FOR THE LAYOUT AND INSTALLATION OF THE PROTECTIVE TREE PRESERVATION FENCE.

BASE INFORMATION PROVIDED BY:
L.M. BUILDING DESIGN
109 TORONTO STREET, BARRIE, ON CAN L4V 1V1

SITE PLAN REVISED: JANUARY 2021

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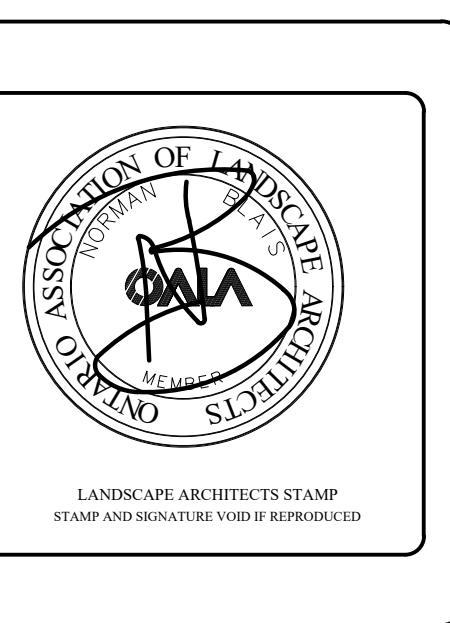
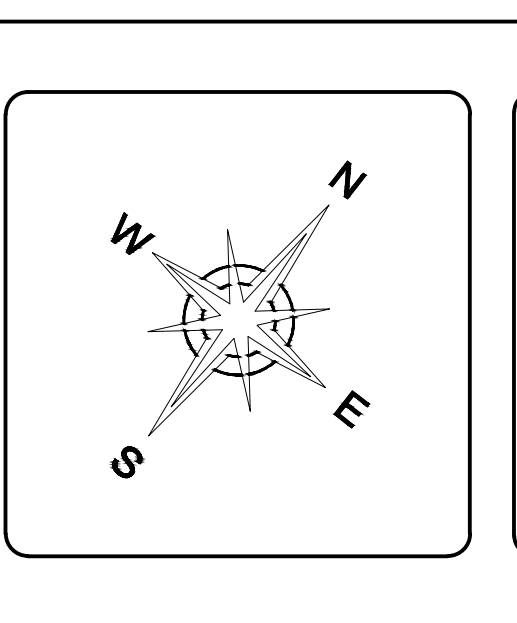
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TOWN ACCEPTED FOR CONSTRUCTION

TOWN OF INNISFIL DEVELOPMENT ENGINEERING

DATE: _____



JDB ASSOCIATES LTD.

Urban Designers
Landscape Architects
Arborsists

274 Barton Ave., Suite 1201
Barrie, Ontario
L4N 5W4

Fax: 705-722-5660
Tel: 705-722-6278

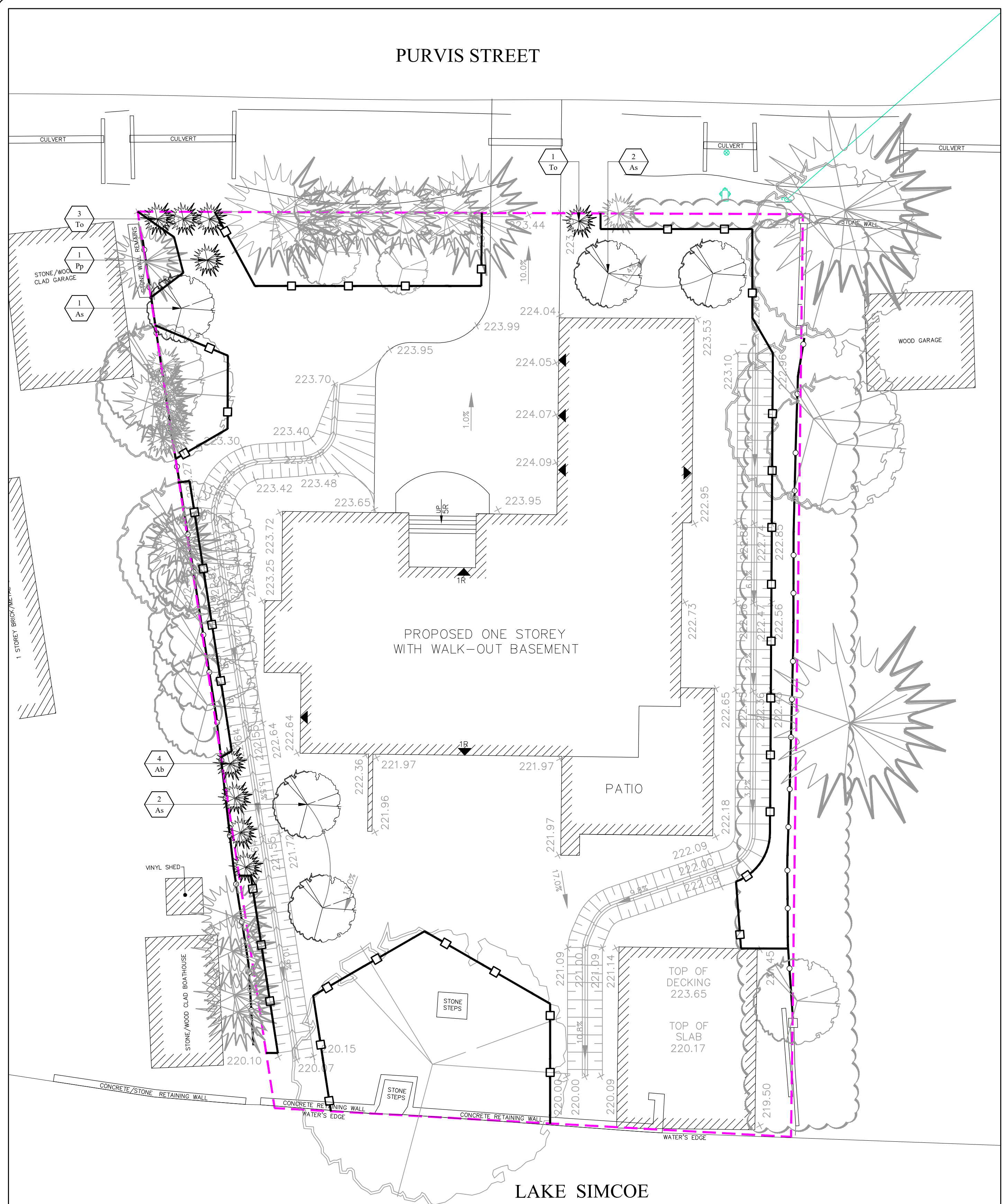
No.	REVISION	DATE	APRVD.
1.	CLIENT REVIEW	JANUARY 25, 2021	MC
2.	RESUBMISSION AS PER TOWN COMMENTS	MARCH 30, 2021	MC
3.	RESUBMISSION AS PER TOWN COMMENTS	APRIL 14, 2021	MC

2825 Purvis Street
INNISFIL, ONTARIO

SHORELINE RESTORATION PLAN

TOWN FILE REF. #	PLOT DATE:	DESIGNED BY:	REVIEWED BY:
1-100	JANUARY 2021	MC	NB

SCALE:	OUR FILE REF. #	DRAWN BY:	LP-1
1:100	1-21	MC	



TREE INVENTORY & PRESERVATION PLAN
SCALE 1 : 150



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TOWN ACCEPTED FOR CONSTRUCTION
TOWN OF INNISFIL DEVELOPMENT ENGINEERING
DATE: _____

LANDSCAPE ARCHITECTS STAMP
SEAL AND SIGNATURE VOID IF REPRODUCED

JDB ASSOCIATES LTD.
Urban Designers
Landscape Architects
Arborsists
274 Barton Ave., Suite 1201
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LAN 5W4
Fax: 705-722-5660
Tel: 705-722-6278

No.	REVISION	DATE	APRVD.
1.	CLIENT REVIEW	JANUARY 25, 2021	MC

McLAVEN RESIDENCE
2825 Purvis Street
INNISFIL, ONTARIO

TREE COMPENSATION PLAN

TOWN FILE REF. #	PLOT DATE:	DESIGNED BY:	REVIEWED BY:
	JANUARY 2021	MC	NB
SCALE: 1:150	OUR FILE REF. # 1-21	DRAWN BY: MC	TP-2

CODE	QNTY	COMMON NAME	BOTANICAL NAME	SIZE	FORM	SPACING	DETAIL	NOTES
DECIDUOUS TREES								
As	5	SUGAR MAPLE	<i>Acer saccharum</i>	60mm	WB	6m o/c	TOISD 903	Full form / Do not cut leader
CONIFEROUS TREES								
Ab	4	BALSAM FIR	<i>Abies balsamea</i>	200cm	WB	2m o/c	TOISD 902	Full form / Do not cut leader
Pp	1	COLORADO SPRUCE	<i>Picea pungens</i>	200cm	WB	As Per Drawing	TOISD 902	Full form / Do not cut leader
To	4	EASTERN WHITE CEDAR	<i>Thuja occidentalis</i>	200cm	WB	1.5m o/c	TOISD 902	Full form / Do not cut leader

PLANT LIST (COMPENSATION TREES)
REFER TO PLANTING NOTES AND DETAILS ON TP-3

2825 Purvis Tree Health Coefficient Calculation

Tree #	Tree quantity	Botanical Name	Common name	DBH cm	Height m	Crown Ø (m)	Maturity	Health conditions	Health coefficient
5	1	<i>Sorbus decora</i>	Showy Mountain-Ash	17	7	4	Immature	Poor	0.50
14	Group (3)	<i>Thuja occidentalis</i>	Eastern White Cedar	<40	12	12	Mature	Fair/Poor	0.60
21	1	<i>Abies balsamea</i>	Balsam Fir	27	12	5	Mature	Fair	0.75
22	1	<i>Thuja occidentalis</i>	Eastern White Cedar	14	7	5	Immature	Fair	0.75
31	1	<i>Thuja occidentalis</i>	Eastern White Cedar	<26	12	7	Mature	Fair	0.75
32	1	<i>Thuja occidentalis</i>	Eastern White Cedar	24	8	3	Mature	Fair/Poor	0.60
33	2	<i>Thuja occidentalis</i>	Eastern White Cedar	26 & 30	12	7	Mature	Fair	0.75

Health coefficient: poor = 0.5
fair-poor = 0.6
fair = 0.75
fair-good = 0.85
good = 1.0

2825 Purvis Tree Compensation Calculation

Tree DBH	Health coefficient sum	Compensation ratio	Nr. of replacement trees
100mm - 150mm	0.75	1	1
151mm - 350mm	4.10	2	8
351mm - 500mm	1.80	3	5
>501mm	0.00	4	0
Nr. of replacement trees required:			14

14 PLANTED TREES (15x500=7000) RESULTS IN A SUBTRACTION OF \$7,000.00 FROM THE COMPENSATION TOTAL OF \$7,000.00. A TOTAL OF \$0.00 REMAINS TO BE PAID AS COMPENSATION FOR TREES NOT PLANTED.

TREE COMPENSATION SUMMARY

--- SUBJECT LANDS. REFER TO SITE PLAN.
 PROPOSED COMPENSATION TREES. REFER TO LIST ON THIS PAGE.
 COMPENSATION PLANTING LABEL.
 EXISTING TREE ON SUBJECT OR ADJACENT PROPERTIES TO BE PRESERVED.
 TREE PRESERVATION FENCE. REFER TO DETAILS ON TP-3

LEGEND

1. PROTECTION AREA IS INITIALLY IDENTIFIED IN THE FIELD BY A LICENSED ONTARIO SURVEYOR. THIS LINE APPROXIMATELY ESTABLISHES THE LIMITS OF TREE PRESERVATION SUBJECT TO AN ON-SITE MEETING WITH TOWN OF INNISFIL PARKS PLANNING & DEVELOPMENT STAFF AND THE LANDSCAPE ARCHITECT/ARBORIST.
2. THE LANDSCAPE ARCHITECT/ARBORIST AND THE TOWN OF INNISFIL PARKS PLANNING & DEVELOPMENT STAFF MEET TO REVIEW THE SURVEYED LINE PRIOR TO ANY TREE REMOVAL OCCURRING, AND TO ADJUST THE LINE WHERE APPROPRIATE TO REFLECT THE ACTUAL NATURE OF A TREE AREA AS OPPOSED TO A STRAIGHT CUT LINE.
3. TREES THAT ARE SUSCEPTIBLE TO FALLING ONTO PRIVATE PROPERTY OR MUNICIPAL PROPERTY FROM WITHIN THE TREE PRESERVATION ZONE WILL BE IDENTIFIED FOR REMOVAL. REMOVAL WILL TAKE PLACE AS PRESCRIBED IN ITEM #6 BELOW.
4. ONCE THE SITE VISIT HAS CONCLUDED, THEN TREE PRESERVATION FENCING WILL BE ERECTED ALONG THE AGREED TREE PRESERVATION LINE.
5. FULL TREE REMOVAL OUTSIDE OF THE TREED AREAS MAY OCCUR ONCE THE PRESERVATION FENCING HAS BEEN ERECTED, TREE REMOVAL PERMIT ISSUED, AND SIGNAGE POSTED A MINIMUM OF 7 DAYS PRIOR TO COMMENCING TREE REMOVAL ACTIVITIES ON SITE (AS PER BY-LAW 2014-115).
6. TREES ARE TO BE FELLED IN SUCH A MANNER AS TO NOT DISTURB VEGETATION TO REMAIN. NO MACHINERY OR EQUIPMENT SHALL BE OPERATED OR STORED WITHIN THE DRIPLINE OF PROTECTED TREES.
7. STUMP REMOVALS ARE TO BE IMPLEMENTED AS TO NOT TO DISTURB THE GROUND WITHIN THE TREE PRESERVATION ZONE.
8. ONCE TREE REMOVAL HAS OCCURRED, AND PRIOR TO THE ISSUANCE OF THE UNDERGROUND CERTIFICATE, A RE-INSPECTION OF THE TREE PRESERVATION AREAS MUST OCCUR WITH TOWN OF INNISFIL STAFF AND THE LANDSCAPE ARCHITECT/ARBORIST. ANY ADDITIONAL TREES TO BE REMOVED WILL BE NOTED BY THE TOWN OF INNISFIL PARKS PLANNING & DEVELOPMENT STAFF AND LANDSCAPE ARCHITECT/ARBORIST.
9. ALL TREES ON ADJACENT PRIVATE LAND SHALL RECEIVE DRIPLINE PROTECTION.

TREE PRESERVATION PROCESS

THE INTENT OF TREE PRESERVATION AND PROTECTION IS TO PROVIDE AN INVENTORY OF EXISTING TREES ON SITE. IT IS NOT A SURVEY AND THEREFORE THE EXACT LOCATION OF EXISTING TREES MUST BE VERIFIED ON SITE PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION WORKS.

ALL TREES TO BE PRESERVED SHALL BE INDICATED AND MARKED AS SUCH ON SITE BY THE LANDSCAPE ARCHITECT PRIOR TO THE COMMENCING OF THE CLEARING AND GRUBBING CONTRACT.

AS PART OF THE CLEARING AND GRUBBING CONTRACTUAL WORK, TREES LOCATED AT THE EDGES OF ALL PRESERVATION AREAS REGARDLESS OF SIZE ARE TO BE PRUNED OF DEAD AND DISEASED LIMBS AND INDIVIDUAL SPECIMENS AND ARE TO BE REMOVED IN ACCORDANCE WITH ACCEPTED HORTICULTURAL PRACTICES AND TO THE SATISFACTION OF THE TOWN OF INNISFIL UNDER THE DIRECT SUPERVISION OF THE LANDSCAPE ARCHITECT.

IN THE EVENT THAT A TREE THAT HAS BEEN DESIGNATED FOR PRESERVATION IS DAMAGED OR REMOVED WITHOUT PRIOR WRITTEN PERMISSION FROM THE LANDSCAPE ARCHITECT AND TOWN OF INNISFIL, THE LAND OWNER SHALL BE RESPONSIBLE FOR THE REMOVAL AND OR DAMAGE AS OUTLINED IN BYLAW 2005-120, SECTION 15.

SPECIFICATIONS FOR PRESERVATION & PROTECTION

PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION WORKS, ALL TREES OR BLOCKS OF TREES THAT HAVE BEEN DESIGNATED FOR PRESERVATION, AS INDICATED ON THE ACCOMPANYING PLAN SHALL BE FULLY PROTECTED BY THE ERECTION OF HOARDING OUTSIDE OF OR AT THE DRIP LINE (SEE DETAIL D2).

EQUIPMENT OR VEHICLES SHALL NOT BE PARKED, REPAIRED OR REFUELED WITHIN TREE PROTECTION ZONE. CONSTRUCTION MATERIALS SHALL NOT BE STORED AND EARTH MATERIALS SHALL NOT BE STOCKPILED WITHIN THE DRIP LINE AREA OF ANY TREE NOT DESIGNATED FOR REMOVAL.

ANY TREES NOT DESIGNATED FOR REMOVAL SHALL NOT HAVE RIGGING CABLES ATTACHED OR WRAPPED AROUND THEM. NOR SHALL ANY CONTAMINANTS BE DUMPED WITHIN THE PROTECTIVE AREAS. FURTHER, NO CONTAMINANTS SHALL BE DUMPED OR FLUSHED WHERE THEY MAY COME INTO CONTACT WITH THE FEEDER ROOTS OF THE TREES TO BE PRESERVED.

THE CONTRACTOR OR LAND OWNER SHALL TAKE EVERY PRECAUTION TO PREVENT DAMAGE TO TREES OR SHRUBS THAT ARE NOT DESIGNATED FOR REMOVAL AS PER THE ACCOMPANYING PLAN.

UNLESS THE CONTRACT WORK SPECIFICALLY REQUIRES WORK WITHIN THE DRIP LINE OF TREES NOT DESIGNATED FOR REMOVAL, EQUIPMENT SHALL NOT BE OPERATED WITHIN THAT DRIP LINE AREA. WHEN CONTRACT WORK MUST BE COMPLETED WITHIN THE DRIP LINE OF TREES NOT DESIGNATED FOR REMOVAL, OPERATION OF EQUIPMENT WITHIN THAT DRIP LINE SHALL BE KEPT TO THE MINIMUM AMOUNT REQUIRED TO COMPLETE THE WORKS. PRIOR TO THE COMMENCEMENT OF SUCH WORKS THE LANDSCAPE ARCHITECT AND TOWN OF INNISFIL MUST BE GIVEN WRITTEN NOTIFICATION AND WILL SUBSEQUENTLY BE REQUIRED TO INSPECT SAID WORKS.

THE CONTRACTOR'S OPERATION SHALL IN NO WAY CAUSE DAMAGE TO THE TRUNK OR BRANCHES OF TREES NOT DESIGNATED FOR REMOVAL.

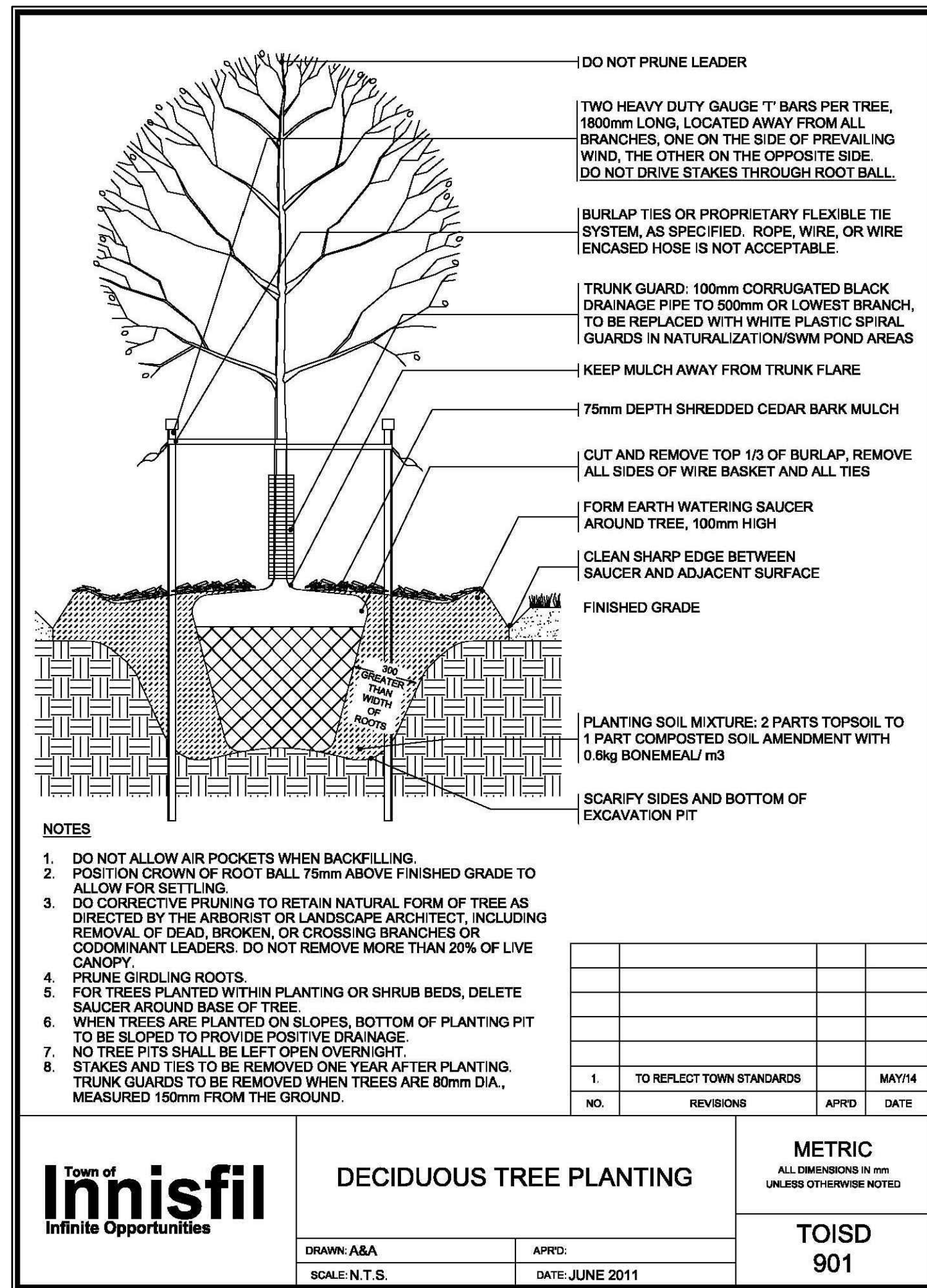
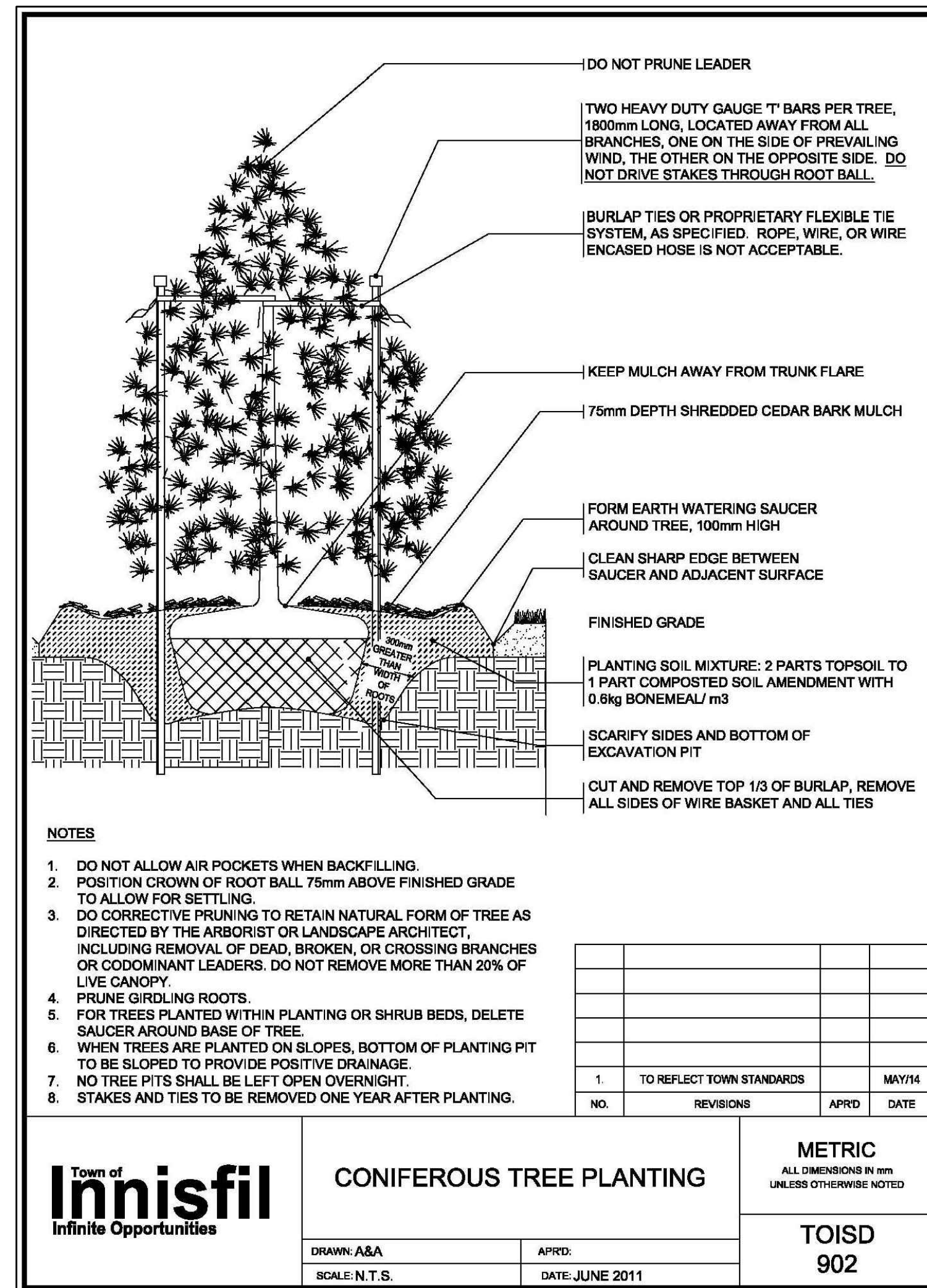
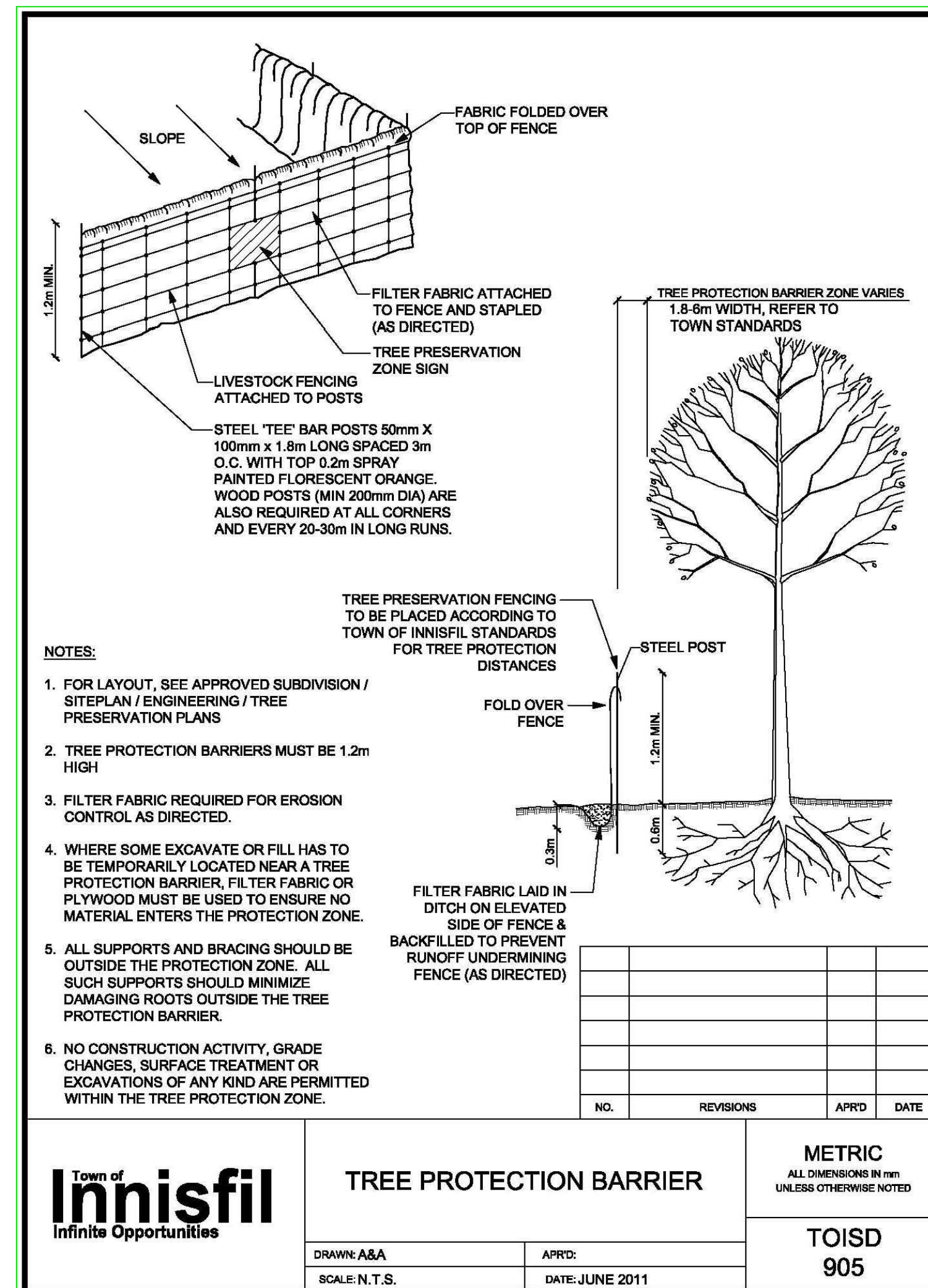
THE CONTRACTOR'S OPERATION SHALL NOT CAUSE FLOODING OR SEDIMENT DEPOSITS IN AREAS WHERE TREES ARE NOT DESIGNATED FOR REMOVAL.

IN THE EVENT THAT IT IS NECESSARY TO REMOVE LIMBS OR PORTIONS OF TREES NOT DESIGNATED FOR REMOVAL, WRITTEN APPROVAL AND DIRECTION MUST BE GIVEN BY THE LANDSCAPE ARCHITECT AND TOWN OF INNISFIL PRIOR TO ANY WORKS. THE REMOVALS MUST BE EXECUTED CAREFULLY AND IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICES AND TECHNIQUES.

IN THE EVENT THAT GRADES AROUND A TREE DESIGNATED FOR PRESERVATION ARE TO BE CHANGED, THE DEVELOPER, AGENT OR LAND OWNER SHALL BE REQUIRED TO TAKE PRECAUTIONS TO PRESERVE THE TREE, SUCH AS DRY WELLING AND ROOT FEEDING. THE PROTECTION MEASURES MUST BE DONE TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT AND TOWN OF INNISFIL.

THE DEVELOPER SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND/OR REMOVAL OF DEAD, DYING, DISEASED TREES WITHIN THE LIMIT OF THIS PLAN UNTIL END OF GENERAL MAINTENANCE.

NOTES FOR TREE PRESERVATION AND PROTECTION



1. VERIFY ALL EXISTING SITE CONDITIONS AND REPORT ANY DISCREPANCIES BEFORE COMMENCING WORK.
2. PLANT MATERIAL LISTED IN THE PLANT SCHEDULE ARE MINIMUM SIZES +/- NURSERY GROWN AND UNIFORM SPECIMENS. NO SUBSTITUTIONS WILL BE PERMITTED WITHOUT WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECTS.
3. ALL PLANT MATERIAL WHICH ARE SPECIFIED BY O.C. (ON CENTRE SPACING) ARE TO BE PLANTED AS NOTED IN THE PLANT SCHEDULE.
4. ALL PLANT MATERIAL IS TO MEET THE STANDARDS OF THE NURSERY TRADES ASSOCIATION.
5. ALL PLANT MATERIALS WHICH CAN NOT BE PLANTED IMMEDIATELY UPON ARRIVAL ON SITE SHALL BE PROPERLY HEeled IN OR WELL PROTECTED WITH SOIL OR SIMILAR MATERIALS TO PREVENT DRYING OUT AND SHALL BE KEPT MOIST UNTIL COMMENCEMENT OF PLANTING.
6. GIVE TIMELY NOTICE TO THE LANDSCAPE ARCHITECT WHEN INSPECTIONS OF WORK AND MATERIALS ARE REQUIRED.
7. FINAL ACCEPTANCE OF THE PROJECT WILL BE CARRIED OUT UPON COMPLETION OF ALL WORK INCLUDED IN THE CONTRACT.
8. ALL NEW WORK TO BLEND NEATLY AND SMOOTHLY WITH EXISTING CONDITIONS.
9. FOR ALL AREAS OF DISTURBANCE: NATIVE TOPSOIL IS TO BE STRIPPED, STOCK PILED AND REPLACED TO A MINIMUM DEPTH OF 300mm.
10. LOCATIONS FOR PLANT MATERIAL AND PLANTING BEDS ARE TO BE MARKED OR STAKED OUT BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT AND MUNICIPAL STAFF PRIOR TO INSTALLATION.
11. ALL TREES ARE TO BE STAKED OR GUY WIRED ACCORDING TO DETAILS PROVIDED. NO ACCESSIBLE OPEN HOLE TREE PITS SHALL BE PERMITTED OVERNIGHT. ALL OPEN PITS SHALL BE ADEQUATELY PROTECTED BY BARRIERS OR FILLED IN WITH SOIL PRIOR TO THE END OF EACH PLANTING DAY.
12. REMOVE BURLAP AND ROPE FROM THE TOP 1/3 OF ROOT BALLS.
13. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLANT LIST AND DRAWING, THE DRAWING WILL BE ASSUMED TO BE CORRECT.
14. INSTALLATION OF PLANT MATERIAL PRIOR TO INSPECTION BY THE LANDSCAPE ARCHITECT WILL BE THE CONTRACTOR'S RESPONSIBILITY. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANTS, WHETHER INSTALLED OR NOT, WHICH DO NOT CONFORM TO THE SPECIFICATIONS AND/OR SITE DRAWING. REMOVE ALL REJECTED PLANTS FROM THE SITE IMMEDIATELY. DO NOT REMOVE ANY LABELS FROM PLANTS UNTIL PLANTS HAVE BEEN INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT.
15. ALL TREE PITS SHALL INCLUDE TREATMENT WITH MICORRHIZAL FUNGI OF THE WALLS BEFORE PLANTING (QL OF "MIKE" OR SIMILAR PRODUCT SHALL BE USED FOR EACH 60mm CALIPER TREE)
16. PREPARED SOIL MIXTURE FOR TREE PITS AND PLANT BEDS SHALL CONSIST OF:
 - SIX PARTS SANDY LOAM SOIL (50-60% SAND, 20-40% SILT, 6-10%CLAY), pH <7.5, FREE OF CLAY LUMPS, DEBRIS, TOXIC SUBSTANCES, STONES, WOODY MATERIAL, WEED SEEDS AND GRASS ROOTS.
 - ONE PART FINE PULVERIZED CANADIAN PEAT MOSS
 - ONE PART OF WELL-ROTTED FARM MANURE

PLANTING NOTES



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SITE PLAN REVISED: JANUARY 2021

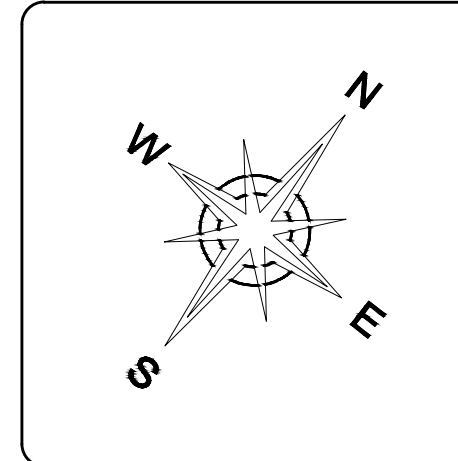
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LAN 5W 4

Fax: 705-722-5660
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McLAVEN RESIDENCE

2825 Purvis Street
INNISFIL, ONTARIO

PLANTING/PRESERVATION DETAILS

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